

Please ask for: Mrs. W. Rowe
Extension No: 4584
E-Mail: wendyrowe@cannockchasedc.gov.uk

3 January 2023

Dear Councillor,

Planning Control Committee
3:00pm, Wednesday 11 January 2023
Council Chamber, Civic Centre, Cannock

You are invited to attend this meeting for consideration of the matters itemised in the following Agenda. The meeting will commence at 3.00pm or at the conclusion of the site visits, whichever is the later. Members should note that the following site visits have been arranged: -

| Application Number | Application Location and Description | Start Time |
|---------------------------|--|-------------------|
| CH/22/0476 | Erection of two apartment buildings to accommodate 24 no. apartments and associated development including access, parking and landscaping <i>Land off Girton Road, Cannock, WS11 0ED</i> | 2.10pm |
| CH/22/0352 | Redevelopment of site to provide 17 room House of Multiple Occupation <i>Former Royal British Legion, 21 Stafford Road, Cannock, WS11 4AF</i> | 2.40pm |

Members wishing to attend the site visits are requested to meet at the Land off Girton Road, Cannock, WS11 0ED at 2.10pm as indicated on the enclosed plan.

Please note that, following a risk assessment, Members undertaking site visits must wear full PPE or they will not be permitted on to the site. In this case, the PPE will constitute a hard hat, hi-vis vest and safety footwear.

Yours sincerely,



Tim Clegg
Chief Executive

To Councillors:

Thompson, S.L (Chair)
Beach, A. (Vice-Chair)
Cartwright, S.M. Kruskonjic, P.
Crabtree, S.K. Muckley, A.M.
Fisher, P.A. Pearson, A.R.
Fitzgerald, A.A. Thornley, S.J.
Hoare, M.W.A. Wilson, L.J.
Jones, V. 1 vacancy
Kenny, B.

Agenda

Part 1

- 1. Apologies**
- 2. Declarations of Interests of Members in Contracts and Other Matters and Restriction on Voting by Members**

To declare any personal, pecuniary, or disclosable pecuniary interests in accordance with the Code of Conduct and any possible contraventions under Section 106 of the Local Government Finance Act 1992.

- 3. Disclosure of Details of Lobbying of Members**

- 4. Minutes**

To approve the Minutes of the meeting held on 23 November 2022 (enclosed).

- 5. Members' Requests for Site Visits**

- 6. Report of the Interim Development Control Manager**

Members wishing to obtain information on applications for planning approval prior to the commencement of the meeting are asked to contact the Interim Development Control Manager.

Details of planning applications can be accessed on the Council's website by visiting www.cannockchasedc.gov.uk/residents/planning and then clicking on the square marked 'Planning Applications'.

Site Visit Applications

| | Application Number | Application Location and Description | Item Number |
|----|---------------------------|---|--------------------|
| 1. | CH/22/0476 | Erection of two apartment buildings to accommodate 24 no. apartments and associated development including access, parking and landscaping - <i>Land off Girton Road, Cannock, WS11 0ED</i> | 6.1 - 6.30 |
| 2. | CH/22/0352 | Redevelopment of site to provide 17 room House of Multiple Occupation - <i>Former Royal British Legion, 21 Stafford Road, Cannock, WS11 4AF</i> | 6.31 - 6.59 |

Cannock Chase Council
Minutes of the Meeting of the
Planning Control Committee

Held on Wednesday 23 November 2022 at 3:00pm
in the Council Chamber, Civic Centre, Cannock

Part 1

Present:
Councillors

Thompson, S.L. (Chair)
Beach, A. (Vice-Chair)
Cartwright, S.M. Kruskonjic, P.
Fitzgerald, A.A. Muckley, A.M.
Hoare, M.W.A. Thornley, S.J.
Jones, V.

51. Apologies

Apologies for absence were received from Councillors M.S. Buttery (substitute), S.K. Crabtree, L.J. Wilson, P.A. Fisher, G.N. Molineux (Substitute) and A.R. Pearson.

Notification had been received that Councillor Buttery would act as substitute for Councillor Wilson and Councillor G.N. Molineux would act as substitute for Councillor Fisher; however, neither Member was in attendance.

52. Declarations of Interests of Members in Contracts and Other Matters and Restriction on Voting by Members

| Member | Interest | Type |
|---------------|--|-------------|
| All Members | Application CH/22/0188, 416 Rugeley Road, Hednesford, Cannock, WS12 0QP - Lawful Development Certificate, 2 No. brick outbuildings in rear garden - Members are on the same Committee as the applicant who is a Member | Personal |

53. Disclosure of Details of Lobbying by Members

Councillor M.W.A. Hoare declared that he had been lobbied in respect of Application CH/22/0215.

54. Minutes

Resolved:

That the Minutes of the meeting held on 26 October 2022 be approved as a correct record.

55. Members Requests for Site Visits

Councillor V. Jones requested that a site visit be undertaken for the following: -

CH/22/0352 - Redevelopment of site to provide 17 room house of multiple occupation at 21, Stafford Road, Cannock, WS11 4AF. The reason for the site visit was that it would be helpful for Members to be able to see the location of the building in relation to the neighbours.

Resolved:

That a site visit be undertaken in respect of Application CH/22/0352 - Redevelopment of site to provide 17 room house of multiple occupation at 21, Stafford Road, Cannock, WS11 4AF for the reason outlined above.

Prior to consideration of the following application, the Principal Solicitor clarified that only those Members who had been present at the meeting on 26 October, when Application CH/22/0215 had previously been considered, could participate in the determination of the application. The Members eligible today and present to participate in the meeting were Councillors A. Beach, S. Cartwright, M.W.A. Hoare and S.J. Thornley.

At this point Councillors S. Thompson and P. Kruskonjic left the meeting as they were not present for the consideration of the application on 26 October, having declared a personal and pecuniary interest in the application.

(In the absence of the Chair, Councillor A. Beach took the Chair for the determination of the application).

56. Application CH/22/0215, 71 Old Penkridge Road, Cannock - Residential development of 2 no. bungalows to land rear of 71 Old Penkridge Road, WS11 1HY

Consideration was given to the report of the Interim Development Control Manager (Item 6.1 – 6.47) presented by the Interim Development Management Team Leader.

The Committee was provided with the following update, which had been circulated in advance of the meeting: -

“Following compilation of the report for the Committee agenda, officers have received further correspondence from the objector in light of comments provided by the applicant. The comments stated as follows: -

- 1) The objector welcomes the dimensions of the bungalow timber mock up to be verified. I built the timber to scale from the proposed drawings. Both the height and location relative to my home and ground levels were scaled off the drawings provided at the last meeting. You can get access to my garden at any time just please let me know when we'll open the gates.

Officers confirm that Members have already viewed the structure in the objector's garden. Notwithstanding the comments of the objector, Officers cannot confirm whether this has been constructed to the correct scale and it is not for the Local Planning Authority to verify this. Further, Your Officers confirm that even if the

structure is constructed to the correct height it is not positioned in the correct position and therefore, viewed out of context within its surroundings.

- 2) The objector states that the applicant reminds us that there are no TPOs at number 71. As the planning application was submitted with a tree survey and indicated tree/hedge retention I assume the associated tree conditions need to be quite specific if this is passed.

Your Officers confirm that the Landscape Officers have considered the proposal and appropriate conditions have been recommended.

- 3) The objector states that the boundary hedge has been cut in a similar manner over the past 20 years and the boundary line been marked with my shed and mesh fences for over 20 years, up to the trunks of the hedge.

Your Officers confirm that the potential removal of trees within the site by the objector is a civil matter between the two landowners.

- 4) The objector states that historical street view on Google maps (yr 2020) shows the large hedge and shrubs screening the front and side of number 71. This has now been removed to facilitate the build, contrary to the applicant's comments.

Your Officers confirm that this has been carried out in regard to an implemented permission.

- 5) Also contrary to the developer's letter, the developers/applicants visited my home and to number 67 on the same afternoon to ask us to remove our objections.

Your Officers confirm that this is not a material consideration for the determination of the planning application.

- 6) The objector continues that at that meeting it was said that the boundary support wall would need to be strengthened as gravel boards and single skin bricks would be inadequate. As discussed at the time with yourself this relates to the demolition & rebuild of number 71.

Your Officers confirm that this relates to an implemented permission.

Your Officers confirm that the above comments do not raise any material considerations over and above those already considered and therefore do not change the Officer's original recommendation which is to approve subject to conditions".

Following the update, the Interim Development Management Team Leader provided a presentation to the Committee outlining the application showing photographs and plans of the proposals.

Prior to consideration of the application representations were made by Simon Massey, an objector and Colin Sutton, the applicant's agent, speaking in support of the application.

The application was moved by Councillor A. Beach and seconded by Councillor M.W.A. Hoare and a vote was taken. In accordance with paragraph 15(2) of the Council

Procedure Rules, as there was an equal number of votes for and against, the Chair exercised her casting vote. Following this, the motion to approve was carried.

Resolved:

That the application be approved subject to the conditions contained in the report for the reasons stated therein.

(Councillor S.L. Thompson returned as the Chair for the remainder of the meeting).

Prior to consideration of the following application the Principal Solicitor clarified that only those Members who had been present at the meeting on 28 September, when Application CH/21/0023 had previously been considered, could participate in the determination of the Application. The Members present today and eligible to participate in the meeting were Councillors S.L. Thompson, A. Beach, S. Cartwright, M. Hoare, P. Kruskonjic, A. Muckley and S. Thornley.

The Principal Solicitor advised Members that the application was previously before committee and approved by members on 28 September. However, she reported that prior to a decision notice being issued it had come to light that there were procedural errors in and therefore the application was being brought back to committee in order to address those errors. She also reminded Members of the importance of consistency when making decisions.

57. Application CH/21/0023, Castle Inn, 141 Main Road, Brereton, Rugeley, WS15 1DX - Demolition of existing building and the erection of an apartment building and associated landscaping, parking and access

Consideration was given to the report of the Interim Development Control Manager (Item 6.48 – 6.95) presented by the Interim Development Management Team Leader.

The Principal Development Control Officer provided the Committee with a verbal update. She reported that a number of consultation responses had not been reported to the Committee and had not been made publicly available prior to the application being determined on the 28 September. She reported on the additional (those previously not reported) objections received and did not consider that there were any material considerations or different terms and conditions and that these remained unchanged. She advised that the application should be approved with the conditions and S106. She then discussed Condition 17 regarding the latest revisions to the suite of approved plans as follows:

Drg No. 32 G (Sketch proposal floor plans)

Drg No. 30 Rev K (Site & location plan)

Drg No. P19-3114-02-H (Boundary Treatments)

The Principal Development Control Officer then provided a presentation to the Committee outlining the application showing photographs and plans of the proposals.

Prior to consideration of the application representations were made by David Pickford, the applicant's agent, speaking in support of the application.

Resolved:

- (A) That, subject to no objections being received from the Strategic Housing Officer, the applicant be requested to enter into an Agreement under Section 106 of the Town and Country Planning Act, 1990 for the provision of affordable housing.
- (B) That, on completion of the Agreement, the application be approved subject to the conditions contained in the report for the reasons stated therein.

(Councillor Kruskonjic requested his name be recorded as having voted against the decision on this application).

58. Application CH/22/0188, 416 Rugeley Road, Hednesford, Cannock, WS12 0QP - Lawful Development Certificate, 2 No. brick outbuildings in rear garden

The Principal Solicitor advised Members that Lawful Development Certificates would not usually be determined at a Planning Control Committee, however the application being considered was that of a Member. She advised that all Members would be deemed to have a personal interest in this application as they were on the same Committee as the Member.

She advised Members that the considerations were different to a planning application and determination was based on evidential considerations. She advised Members that appendices attached to the report were confidential as they contained personal data of witnesses. For the assessment of an LDC, Members needed to see the full evidence. She asked that care be taken not to disclose personal data from the confidential appendices within the public meeting and explained that the Officer report and presentation summarised the contents of the appendices.

Consideration was given to the report of the Interim Development Control Manager (Item 6.96 – 6.119) presented by the Principal Development Control Planner.

The Interim Development Management Team Leader then provided a presentation to the Committee outlining the application showing photographs and plans of the proposals.

Resolved:

That the Council was satisfied that the 2 No. Brick outbuildings (Building A and Building B) in rear garden of 416 Rugeley Road, Hednesford, Cannock, WS12 0QP was lawful.

The meeting closed at 4.30 p.m.

Chair

Site Visit Plan

Application No: CH/22/0476

Location: Land off Girton Road, Cannock

Proposal: Erection of two apartment buildings to accommodate 24No. Apartments and Associated Development including access parking and landscaping

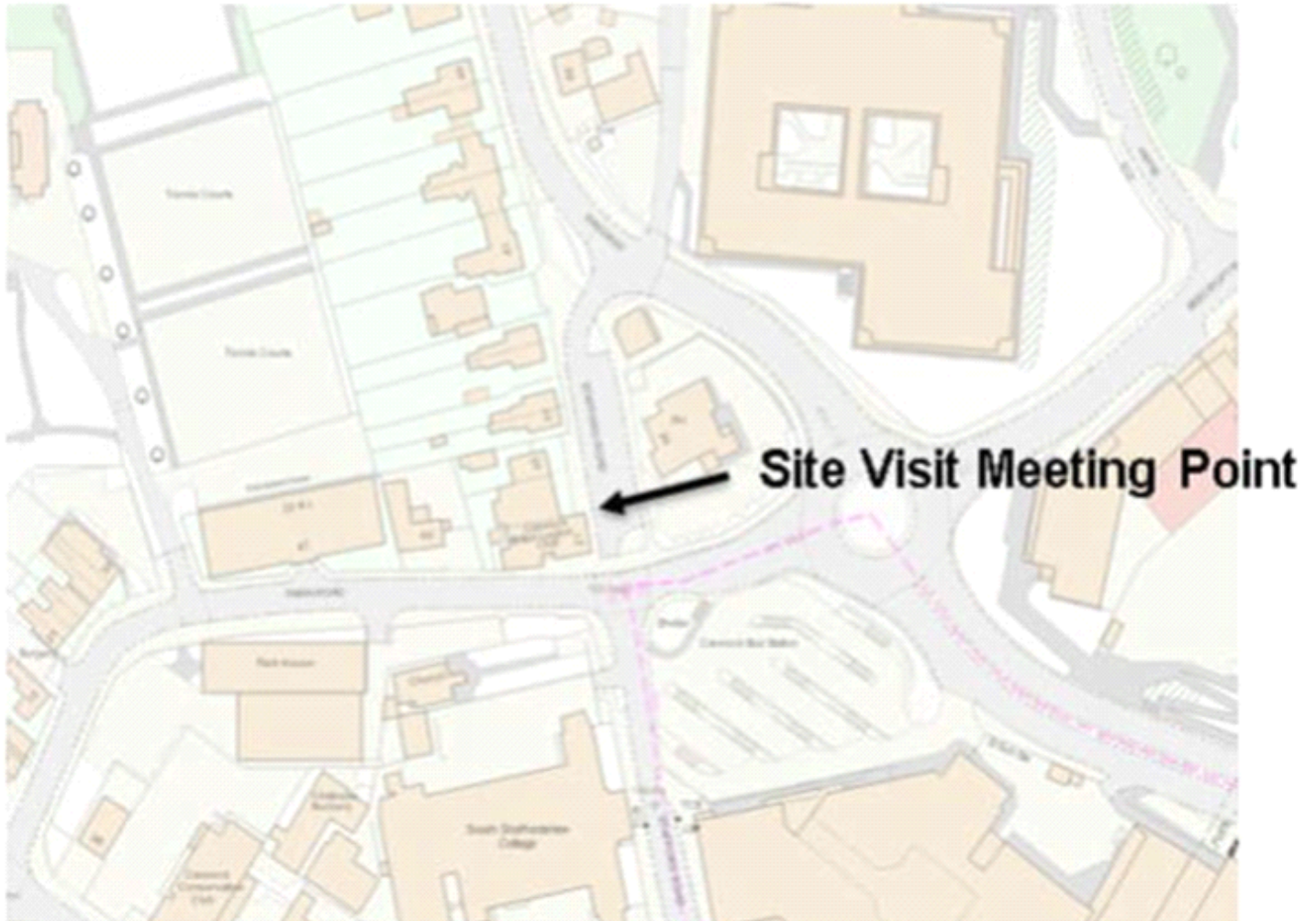


Site Visit Plan

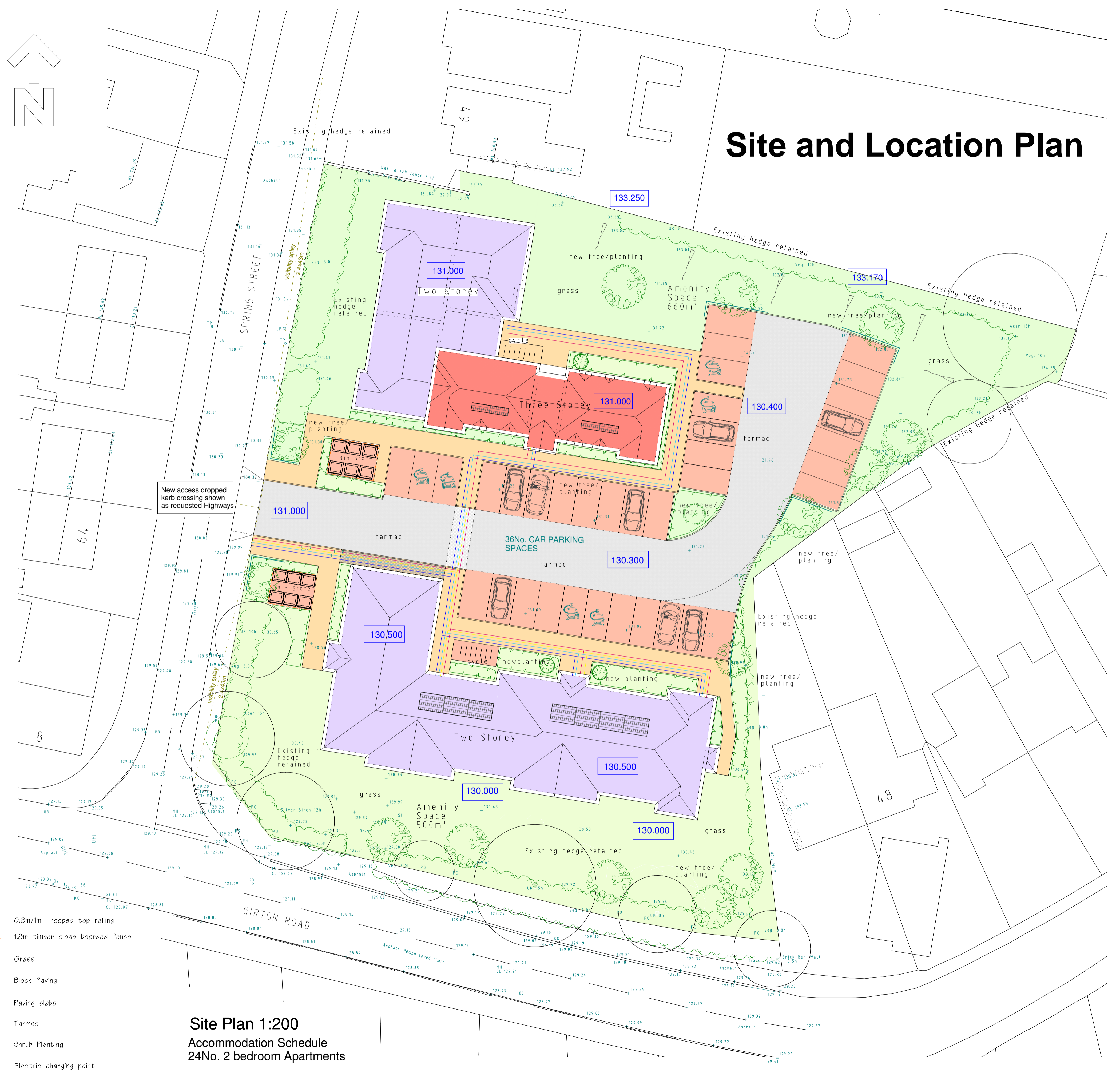
Application No: CH/22/0352

Location: Former Royal British Legion, 21 Stafford Road, Cannock

Proposal: Redevelopment of Site to Provide 17 Room House of Multiple Occupation

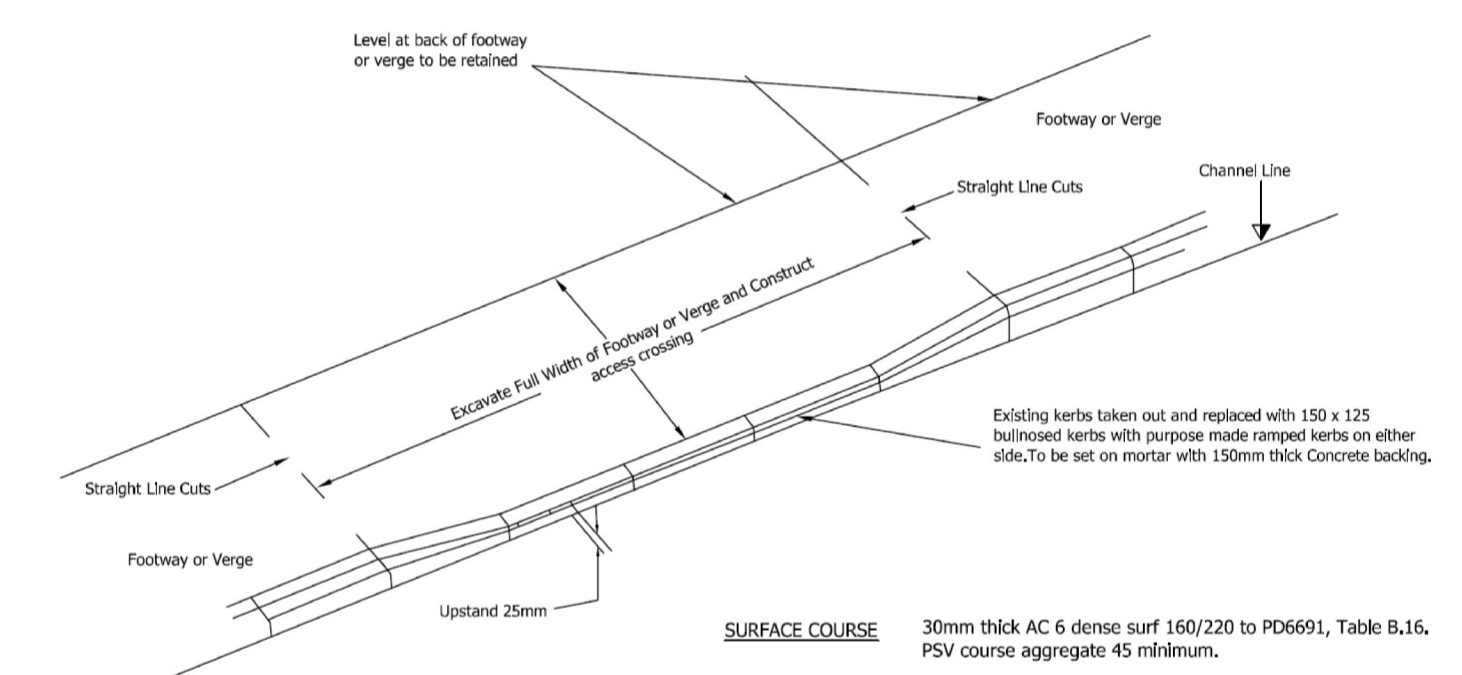


Site and Location Plan



Location Plan 1:1250

- Assumed New GAS supply route
- Assumed New Electric supply route
- Assumed New Water supply route
- Assumed New BT/ Internet supply route



- NOTES:-
Where the footway is flag paved the slopes of each side of the access crossing must be saw cut to obtain the necessary falls and gradient, and all sloping flags must be bedded on 75mm of concrete grade ST1. Flags only to be used under the instruction of the Overseeing Organisation.
- HIGHWAY WORKS DETAILS**
- SURFACE COURSE** 30mm thick AC 6 dense surf 160/220 to PD6691, Table B.16. PSV course aggregate 45 minimum.
 - BINDER COURSE** 50mm thick AC 20 dense b/n rec 160/220 to PD6691, Table B.11
 - SUB-BASE** 150mm thick Type 1

⚠ This symbol indicates significant hazards which require further action. In addition to hazards and risks generally associated with works detailed on the drawing.

- - - 0.6m/lm hooped top railing
- - - 1.6m timber close boarded fence
- Grass
- Block Paving
- Paving slabs
- Tarmac
- Shrub Planting
- Electric charging point
- Provisional Levels
- Existing Levels

Site Plan 1:200
Accommodation Schedule
24No. 2 bedroom Apartments

| | | | | |
|---|----------------------------|--|---------------------|-------------------------|
| J Mason Associates | | Rev: Details | By / Chk: | Date: |
| Client: GLOBE HOMES LTD | | www.jmasonassociates.com Tel: 01543 467788 J Mason Associates St. Thomas House, Wolverhampton Road, Cannock, WS11 1AR | | |
| Project: RESIDENTIAL DEVELOPMENT GIRTON ROAD | | Drawing Title: SITE & LOCATION PLAN | | |
| Stage: Planning | Status: Preliminary | Sheet Size: A1 | Scale: 1:200 | Date: 20.08.2020 |
| Job Number: 2319 | | Revision: 21 | | Revision: P |
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PV system module framework installed and design by specialist



FRONT ELEVATION OPTION ONE

PV system module framework installed and design by specialist



FRONT ELEVATION OPTION TWO

Block A - Elevations



SIDE ELEVATION



REAR ELEVATION

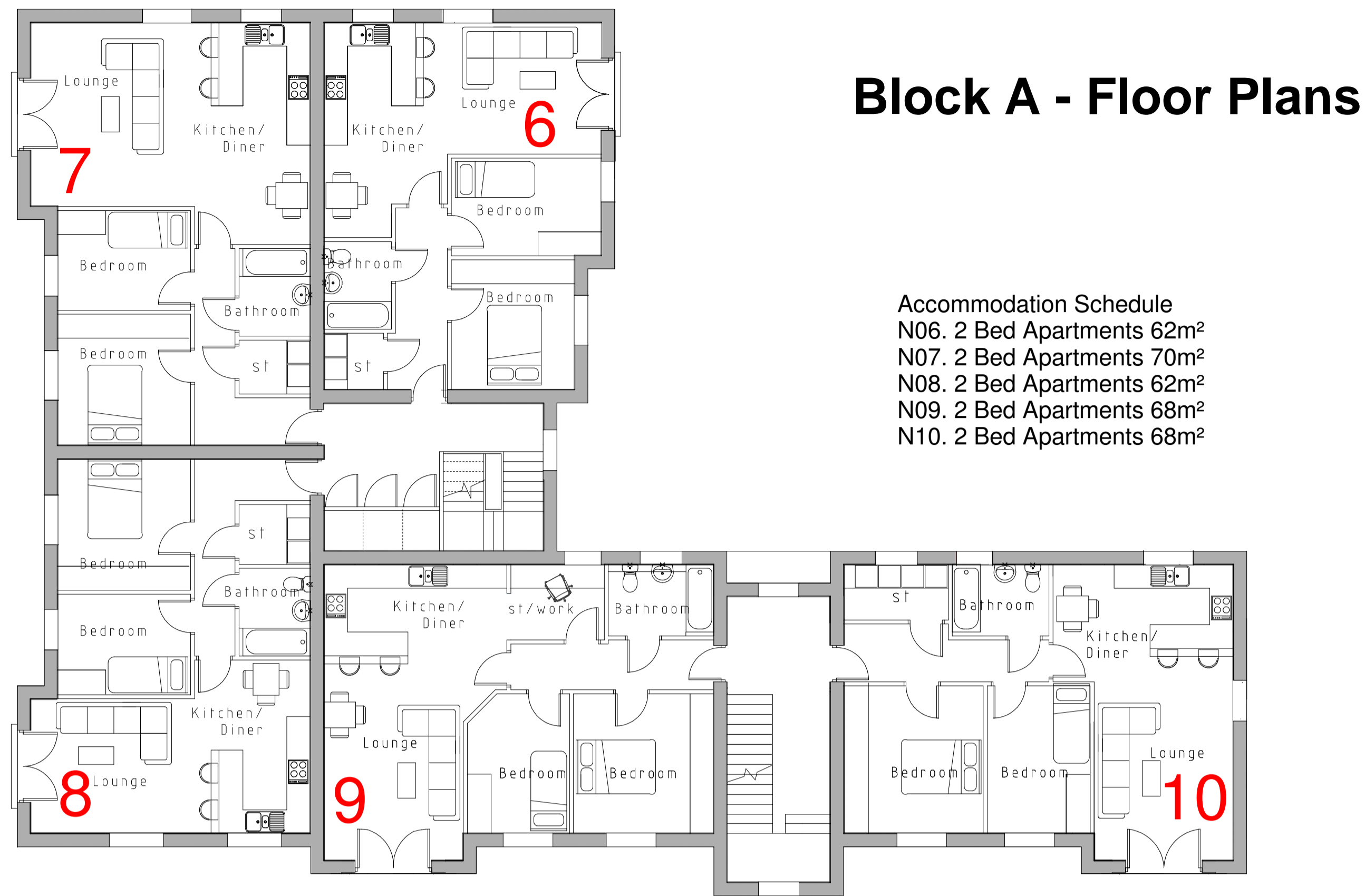
UNIT 4 & 9
additional windows
behind wall projection



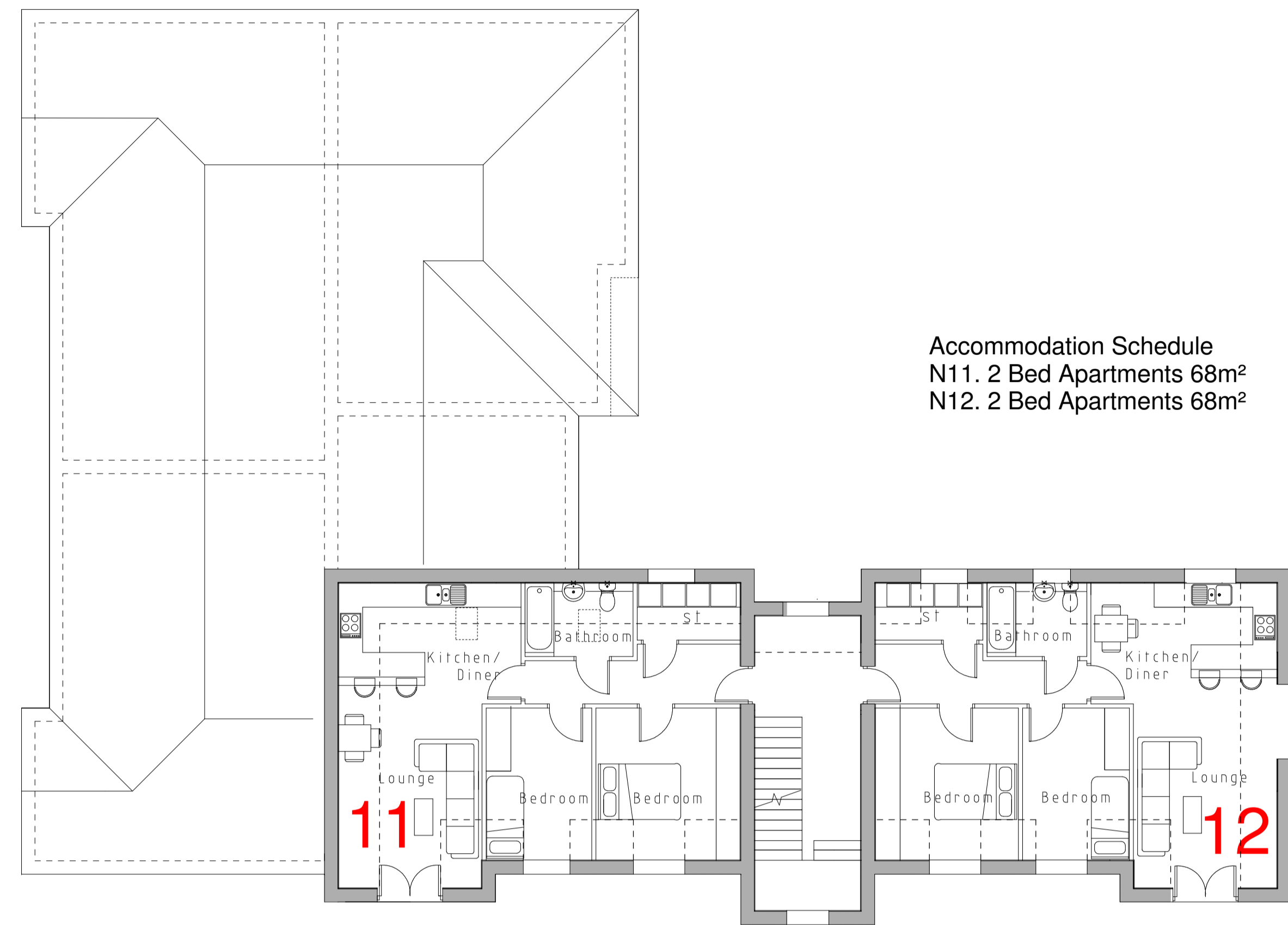
SIDE ELEVATION

This symbol indicates significant hazards which require further action, in addition to hazards and risks generally associated with works detailed on the drawing.

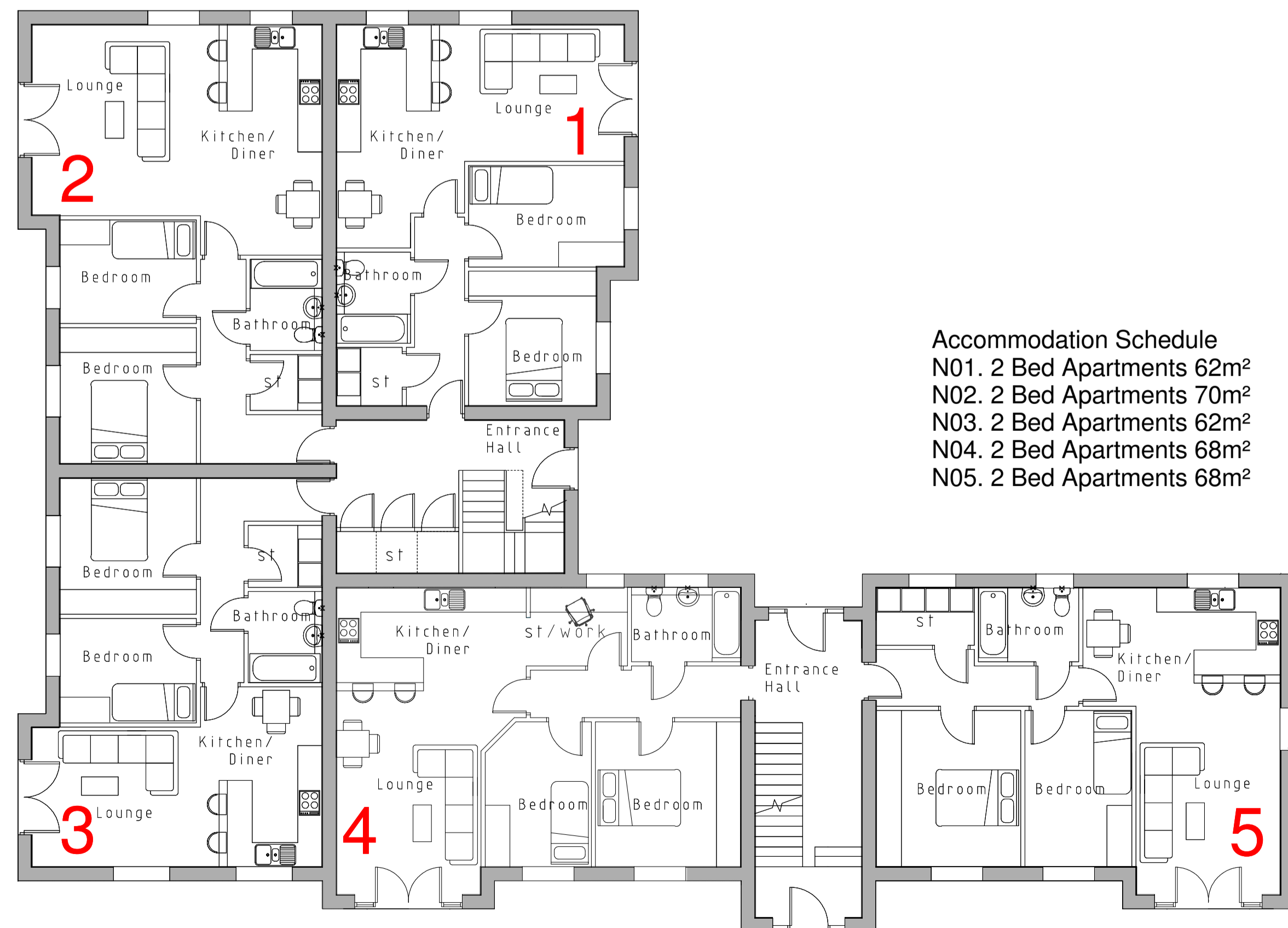
| | | | | | |
|--|---------------------|--|--------------|------------------|-------|
| J Mason Associates | | Rev: Details: | | By / Chk: | Date: |
| www.jmasonassociates.com Tel: 01543 467788 J Mason Associates St. Thomas House, Wolverhampton Road, Cannock, WS11 1AR | | J Mason Associates Registered in England & Wales 5093992 | | | |
| Client: GLOBE homes Ltd | | Drawing Title: BLOCKA ELEVATION SHEET | | | |
| Project: Residential Development Girton Road Cannock | | Sheet Size: A1 | Scale: 1:100 | Date: 04.01.2019 | |
| Stage: PLANNING | Status: PRELIMINARY | Job Number: 2319 | | Revision: 13 | D |
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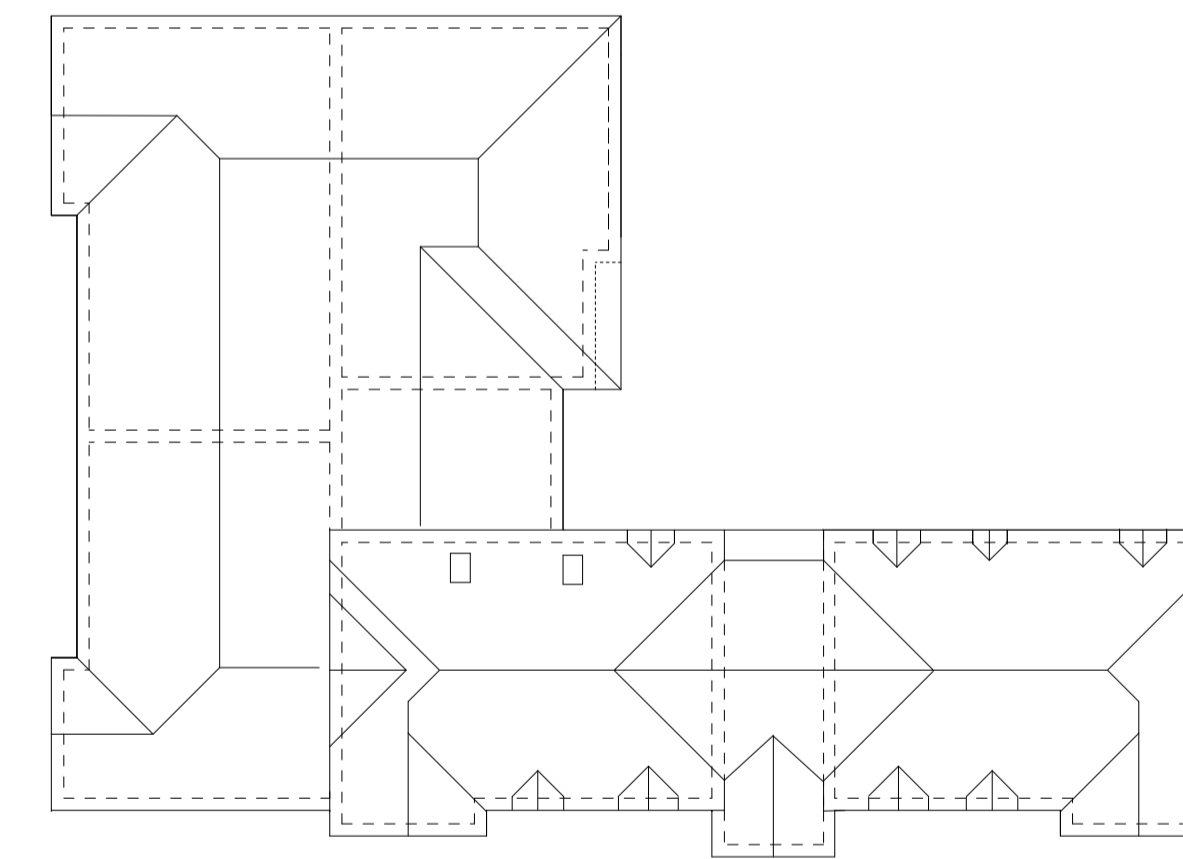
FIRST FLOOR PLAN



SECOND FLOOR PLAN



GROUND FLOOR PLAN



ROOF PLAN

This symbol indicates significant hazards which require further action, in addition to hazards and risks generally associated with works detailed on the drawing.

| | | | | | | |
|---|--|--|---------------------|-------|-------|------------|
| J Mason Associates | | Rev: Details: | By / Chk: | Date: | | |
| www.jmasonassociates.com Tel: 01543 467788 J Mason Associates St. Thomas House, Wolverhampton Road, Cannock, WS11 1AR | | J Mason Associates Registered in England & Wales 5093992 | | | | |
| Client: | GLOBE homes Ltd | Drawing Title: | BLOCK A FLOOR PLANS | | | |
| Project: | Residential Development Girton Road Cannock | Sheet Size: | Scale: | Date: | | |
| Stage: | PLANNING | Status: | PRELIMINARY | A1 | 1:100 | 04.01.2019 |
| Job Number: | 2319 | Revision: | 12 | D | | |
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Block B - Elevations

PV system module framework installed and design by specialist



FRONT ELEVATION




SIDE ELEVATION



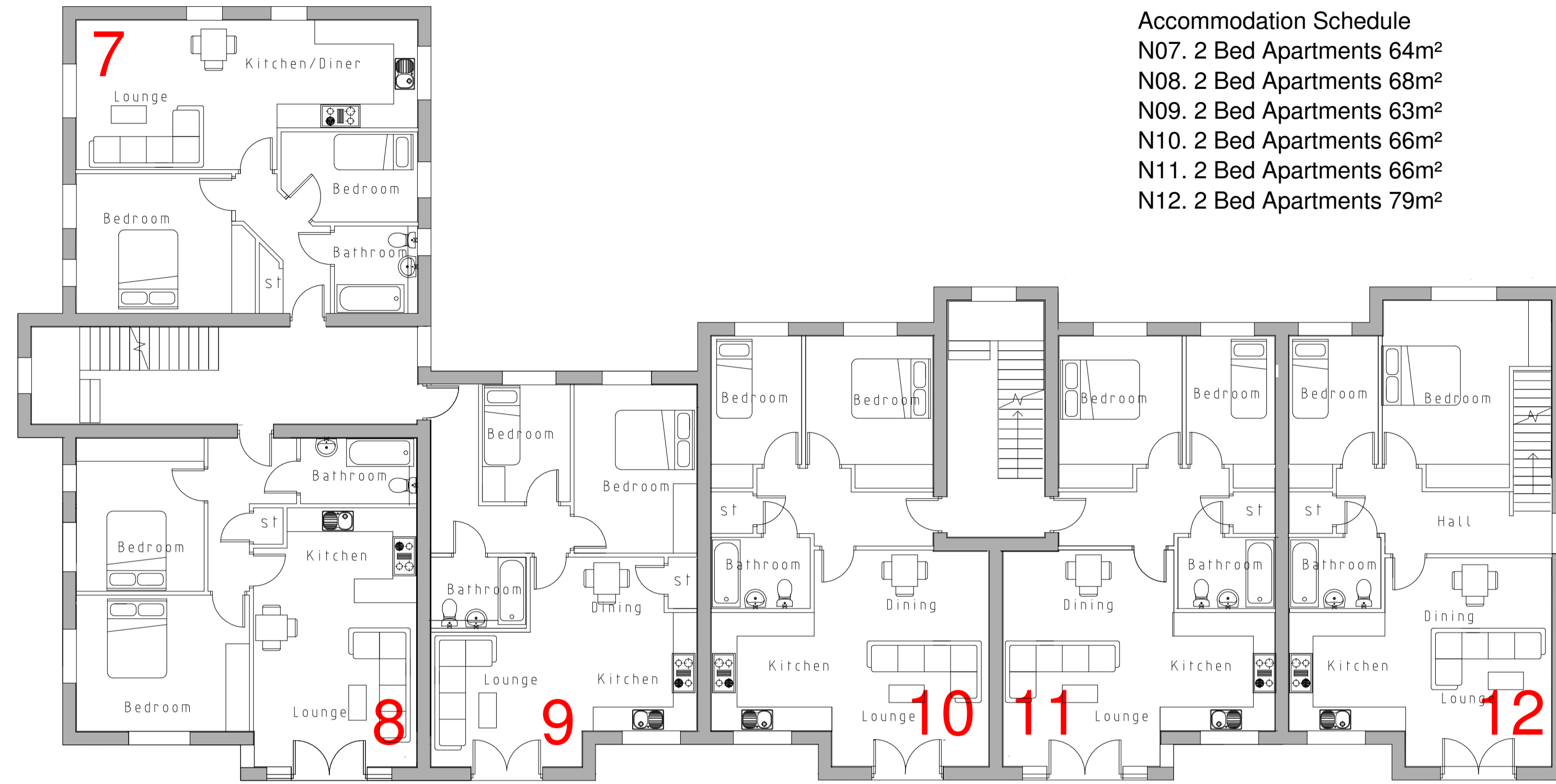
REAR ELEVATION



SIDE ELEVATION

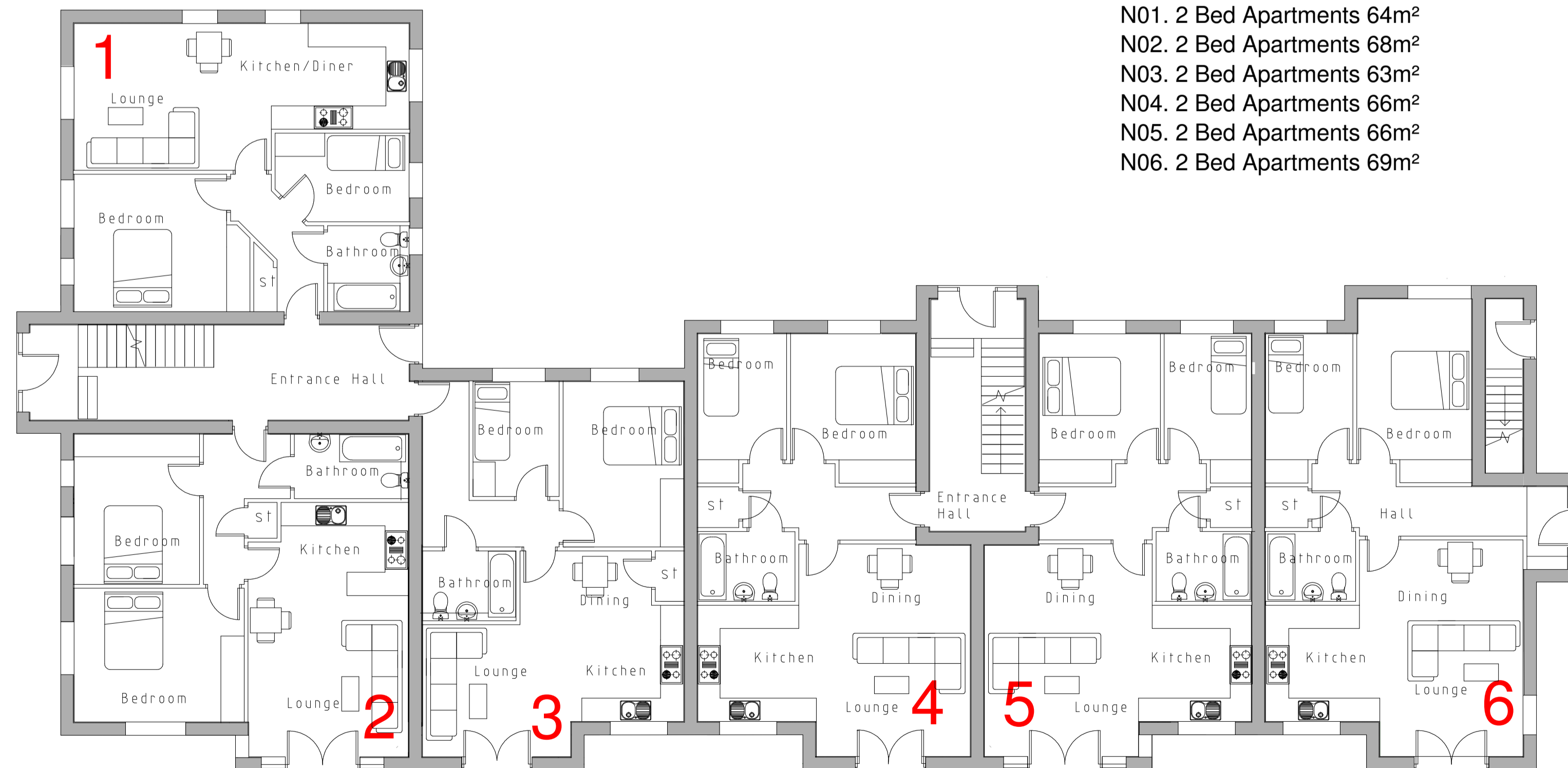
 This symbol indicates significant hazards which require further action, in addition to hazards and risks generally associated with works detailed on the drawing.

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|---|--|---|--|--|--|
| J Mason Associates | | Rev: Details: | | By / Chk: Date: | |
| www.jmasonassociates.com | | J Mason Associates Tel: 01543 467788 | | J Mason Associates Registered in England & Wales 5093992 | |
| Client: GLOBE homes Ltd | | Drawing Title: BLOCK B ELEVATION SHEET | | | |
| Project: Residential Development Girton Road Cannock | | Sheet Size: A1 | | Scale: 1:100 Date: 04.01.2019 | |
| Stage: PLANNING | | Status: PRELIMINARY | | Revision: E | |
| Job Number: 2319 | | 23 | | | |
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Accommodation Schedule
 N07. 2 Bed Apartments 64m²
 N08. 2 Bed Apartments 68m²
 N09. 2 Bed Apartments 63m²
 N10. 2 Bed Apartments 66m²
 N11. 2 Bed Apartments 66m²
 N12. 2 Bed Apartments 79m²

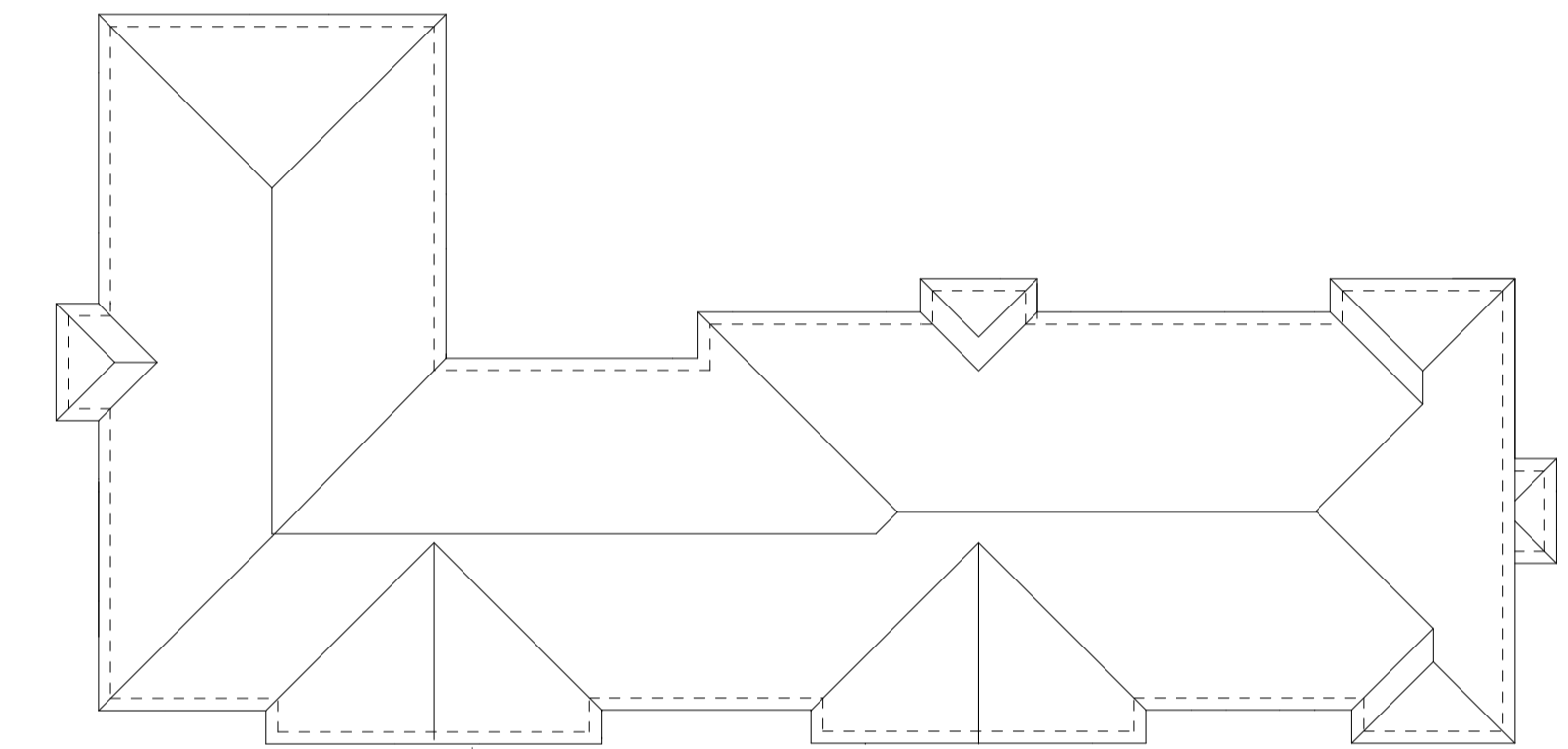
FIRST FLOOR PLAN



Accommodation Schedule
 N01. 2 Bed Apartments 64m²
 N02. 2 Bed Apartments 68m²
 N03. 2 Bed Apartments 63m²
 N04. 2 Bed Apartments 66m²
 N05. 2 Bed Apartments 66m²
 N06. 2 Bed Apartments 69m²

GROUND FLOOR PLAN

Block B - Floor Plans



ROOF PLAN

This symbol indicates significant hazards which require further action. In addition to hazards and risks generally associated with works detailed on the drawing.

| | | | | | |
|---|--|---------------------------------------|--|-------------------------------|--|
| J Mason Associates | | Rev: Details: | | By / Chk: Date: | |
| www.jmasonassociates.com | | J Mason Associates | | J Mason Associates | |
| Tel: 01543 467788 | | J Mason Associates | | Registered in England & Wales | |
| J Mason Associates | | St. Thomas House, Wolverhampton Road, | | 5093992 | |
| Cannock, | | WS11 1AR | | | |
| Client: GLOBE homes Ltd | | Drawing Title: BLOCK B FLOOR PLANS | | | |
| Project: Residential Development Girton Road Cannock | | Sheet Size: A1 | | Date: 04.01.2019 | |
| Stage: PLANNING | | Status: PRELIMINARY | | Scale: 1:100 | |
| Job Number: 2319 | | Revision: 22 | | D | |

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 Where drawings are based on survey information received, surveys are available on request.
 All drawings to be read in conjunction with all relevant Structural and M&E Engineers drawings and specifications.

Detailed Soft Landscape Proposals

PLANT SCHEDULE

| ABBREV. SPECIES | COMMON NAME | SUPPLY HEIGHT (CM) | HABIT | CENTRES (M) | QTY (No.) |
|-----------------|--------------------|--------------------|---------------------|-------------|------------------|
| ACEDA | Acer campestre | EHStd | 350-425cm 14-16cm 2 | | 2 |
| ACEDA | Acer davidii | EHStd | 350-425cm 14-16cm 2 | | 2 |
| ALNGL | Alnus glutinosa | EHStd | 450-850cm 16-18cm 1 | | 1 |
| BETPE | Betula pendula | EHStd | 350-425cm 14-16cm 3 | | 3 |
| CARBET | Carpinus betulus | EHStd | 350-425cm 14-16cm 2 | | 2 |
| FAGSYL | Fagus sylvatica | EHStd | 425-800cm 14-16cm 2 | | 2 |
| PRUSU | Prunus subhirtella | EHStd | 350-425cm 14-16cm 1 | | 1 |
| | | | | | Total: 13 |

| ABBREV. SPECIES | COMMON NAME | SUPPLY HEIGHT (CM) | HABIT | CENTRES (M) | QTY (No.) |
|-----------------|--------------------------------------|--------------------|----------------------------------|-------------|-------------|
| AMEHILA | Amelanchier grandiflora 'Robin Hill' | 25L | 175-200cm Bushy | | Counted 1 = |
| JUNSKY | Juniperus 'Skyrocket' | 25L | 125-150cm Bushy | | Counted 1 = |
| LAUNQ | Launus nobilis | 35L | 150-175cm Std (clear stem 110cm) | | Counted 4 = |

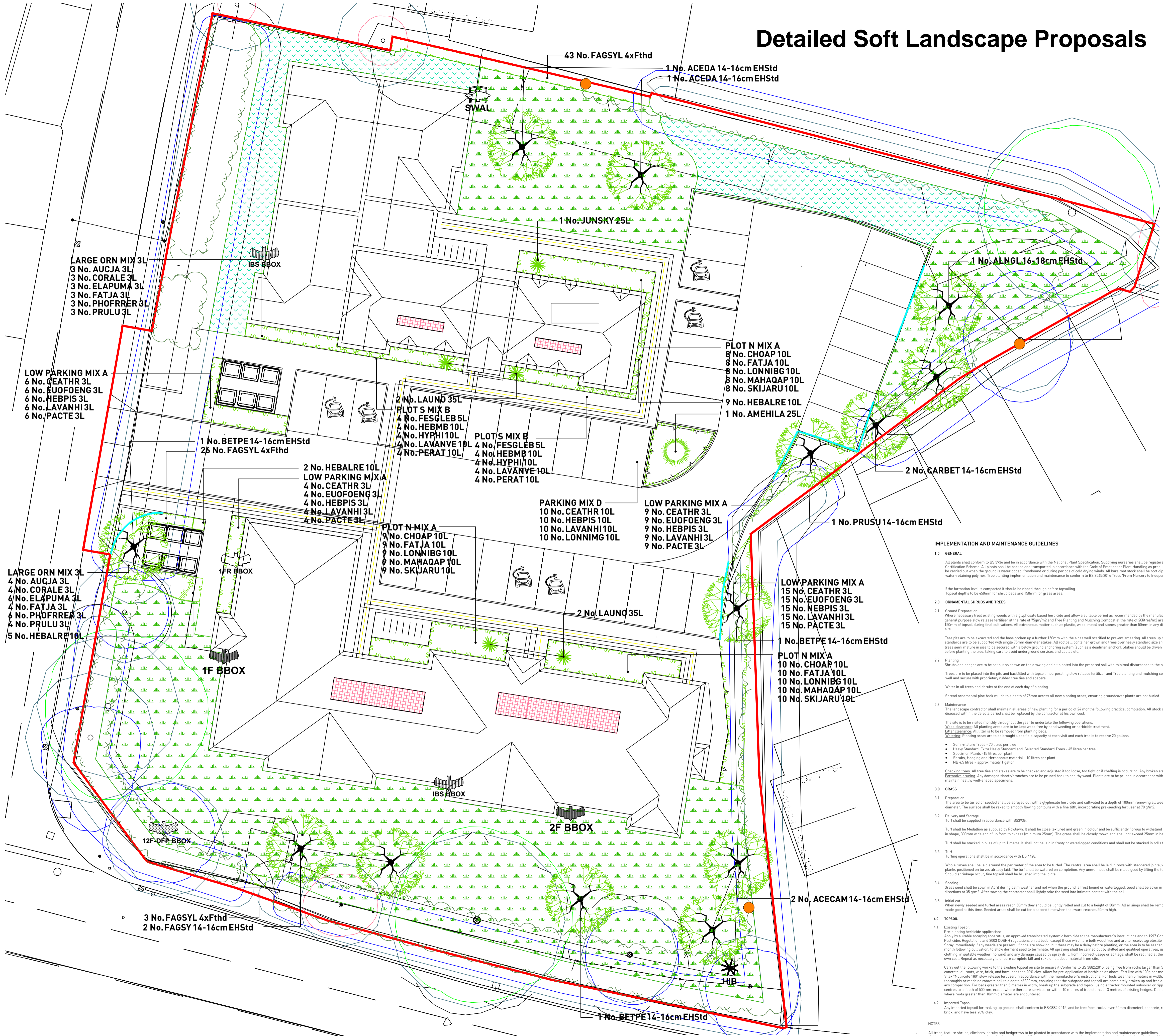
| ABBREV. SPECIES | SUPPLY HEIGHT (CM) | HABIT | CENTRES (M) | QTY (No.) |
|-----------------|------------------------|---------------------------|-------------|-----------|
| FAGSYL | Fagus sylvatica 4xFthd | 150-175cm Branched 0.5Ctr | | 72 |

| ABBREV. SPECIES | SUPPLY HEIGHT (CM) | HABIT | CENTRES (M) | QTY (No.) |
|-----------------|--------------------------|-------|----------------------|-----------|
| HEBALRE | Hebe ablicana 'Red Edge' | 10L | 30-40cm Bushy 0.7Ctr | 16 |

| MIX NAME | ABBREV. SPECIES | SUPPLY HEIGHT (CM) | HABIT | CENTRES (M) | MIX DENSITY (M) | QTY (No.) | PLANT TO FRONT |
|-------------------|-----------------|--------------------|--------------------------|-------------|-----------------|-----------|----------------|
| LARGE ORN MIX 3L | AUGIA | 3L | 30-40cm Bushy | 0.75Ctr | | 7 | - |
| LARGE ORN MIX 3L | CORALE | 3L | 40-60cm Branched 0.75Ctr | | | 7 | - |
| LARGE ORN MIX 3L | ELAPUMA | 3L | 30-40cm Bushy | 0.75Ctr | | 9 | - |
| LARGE ORN MIX 3L | FATJA | 3L | 40-60cm Bushy | 0.75Ctr | | 7 | - |
| LARGE ORN MIX 3L | PHOFRRER | 3L | 30-40cm Bushy | 0.75Ctr | | 9 | - |
| LARGE ORN MIX 3L | PRULU | 3L | 40-60cm Bushy | 0.75Ctr | | 7 | - |
| LOW PARKING MIX A | CEATHR | 3L | 30-40cm Bushy | 0.7Ctr | | 34 | - |
| LOW PARKING MIX A | EUOFOENG | 3L | 30-40cm Bushy | 0.7Ctr | | 34 | - |
| LOW PARKING MIX A | HEBPI3 | 3L | 30-40cm Bushy | 0.7Ctr | | 34 | - |
| LOW PARKING MIX A | LAVANHI | 3L | 30-40cm Bushy | 0.7Ctr | | 34 | - |
| LOW PARKING MIX A | PACTE | 3L | 40-60cm Bushy | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | CEATHR | 10L | 40-60cm Bushy | 0.7Ctr | | 10 | - |
| LOW PARKING MIX A | HEBPI3 | 10L | 40-60cm Bushy | 0.7Ctr | | 10 | - |
| LOW PARKING MIX A | LAVANHI | 10L | 40-60cm Bushy | 0.7Ctr | | 10 | - |
| LOW PARKING MIX A | LONNIG | 10L | 40-60cm Bushy | 0.7Ctr | | 10 | - |
| LOW PARKING MIX A | CHOP | 10L | 40-60cm Bushy | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | FATJA | 10L | 40-60cm Bushy | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | LONNIG | 10L | 40-60cm Bushy | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | MAHAQAP | 10L | 30-40cm Bushy | 0.7Ctr | | 27 | Yes |
| LOW PARKING MIX A | SKIJARU | 10L | 40-60cm Bushy | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | FESGLEB | 5L | Full Pot | 0.7Ctr | | 27 | - |
| LOW PARKING MIX A | HEBMB | 10L | 30-40cm Bushy | 0.7Ctr | | 8 | - |
| LOW PARKING MIX A | HYPHI | 10L | 30-40cm Bushy | 0.7Ctr | | 8 | - |
| LOW PARKING MIX A | LAVANVE | 10L | 30-40cm Bushy | 0.7Ctr | | 8 | - |
| LOW PARKING MIX A | PERAT | 10L | 40-60cm Bushy | 0.7Ctr | | 8 | - |

| MIX NAME | SEED MIX SUPPLIER | AREA | DENSITY |
|-------------------------------|---------------------|------------------------|--------------------|
| A22 (Low Maintenance) Amenity | Germinol GB Limited | 972.4513m ² | 50g/m ² |

| MIX NAME | SEED MIX SUPPLIER | AREA | DENSITY |
|-----------------------------------|-------------------|------------------------|-------------------|
| EM3 - Special Gen. Purpose Meadow | Emergo | 217.6443m ² | 4g/m ² |



- ### KEY
- Site boundary
 - Vegetation to be retained
 - Soft landscape proposals (Refer to plant schedule for details)
 - Root protection barriers (Location of tree root barriers, ReRoot 1000, as specified by Green Blue Urban or similar approved. Engineer to confirm specification and location.)

IMPLEMENTATION AND MAINTENANCE GUIDELINES

1.0 GENERAL

All plants shall conform to BS 3958 and be in accordance with the National Plant Specification. Supplying nurseries shall be registered under the HTA Nursery Certification Scheme. All plants shall be packed and transported in accordance with the Code of Practice for Plant Handling as produced by CPSE. Planting shall not be carried out when the ground is waterlogged, frostbound or during periods of cold drying winds. All bare root stocks shall be root dipped in an approved water-retaining polymer. Tree planting implementation and maintenance to conform to BS 8545:2014 'Trees From Nursery to Independence in the Landscape'.

If the formation level is compacted it should be ripped through before topsoiling. Topsoil depths to be 450mm for shrub beds and 150mm for grass areas.

2.0 ORNAMENTAL SHRUBS AND TREES

2.1 Ground Preparation

Where necessary treat existing weeds with a glyphosate based herbicide and allow a suitable period as recommended by the manufacturer for this to take effect. A general purpose slow release fertiliser at the rate of 75g/m² and Tree Planting and Mulching Compost at the rate of 20t/m² are to be incorporated into the top 150mm of topsoil during final cultivations. All extraneous matter such as plastic, wood, metal and stones greater than 50mm in any dimension shall be removed from site.

Tree pits are to be excavated and the base broken up a further 150mm with the sides well spicified to prevent smearing. All trees up to and including selected standards are to be supported with single 75mm diameter stakes. All rootball, container grown and trees over heavy standard care shall be double staked. Any future trees semi mature in size to be secured with a below ground anchoring system (such as a deadman anchor). Stakes should be driven 500mm into undisturbed ground before planting the tree, taking care to avoid underground services and cables etc.

2.2 Planting

Shrubs and hedges are to be set out as shown on the drawing and planted into the prepared soil with minimal disturbance to the rootball and well formed in. Trees are to be placed into the pits and backfilled with topsoil incorporating slow release fertiliser and Tree planting and mulching compost as specified. Firm trees in well and secure with proprietary rubber tree ties and spacers.

Water in all trees and shrubs at the end of each day of planting.

Spread ornamental pine bark mulch to a depth of 75mm across all new planting areas, ensuring groundcover plants are not buried.

2.3 Maintenance

The landscape contractor shall maintain all areas of new planting for a period of 24 months following practical completion. All stock deemed to be dead, dying or diseased within the defects period shall be replaced by the contractor at his own cost.

The site is to be visited monthly throughout the year to undertake the following operations:

Watering: All planting areas are to be kept weed free by hand weeding or herbicide treatment.

Pruning: All litter is to be removed from planting beds.

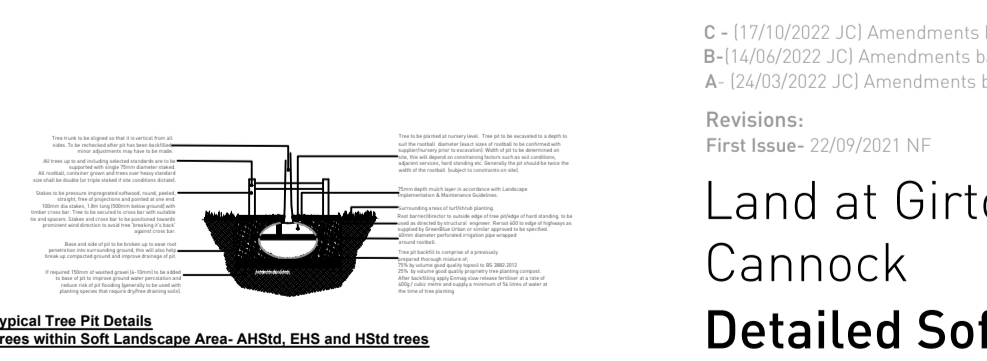
Watering: Planting areas are to be brought up to field capacity at each visit and each tree is to receive 20 gallons.

- Semi-mature Trees - 70 litres per tree
- Heavy Standard, Extra Heavy Standard and Selected Standard Trees - 45 litres per tree
- Specimen Plants - 15 litres per plant
- Shrubs, Hedging and Herbaceous material - 10 litres per plant
- NB: 5 litres approximately 1 metre

Checklist: All tree ties and stakes are to be checked and adjusted if too loose, too tight or if chaffing is occurring. Any broken stakes are to be replaced.

Pruning: Any damaged shoots/branches are to be pruned back to healthy wood. Plants are to be pruned in accordance with good horticultural practice to maintain healthy well-shaped specimens.

- ### ECOLOGICAL ENHANCEMENTS
- Boxes shown as indicative locations, project Ecologist to review locations at a later stage. Exact quantities and specification of the ecological enhancements to be agreed and specified by the project Ecologist prior to installation. Recommendations for 5 integrated bat boxes and 1 receptor bat box locations on drawing to be confirmed.
- 2FR Bat tube location**
Schwegler 2FR Bat tube. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - Bird box location**
Integrated bird box. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - Hedgehog box location**
Hedgehog nest box.
 - Indicative hedgehog access points**
130mm x 130mm access points in boundary fences and linking to adjacent gardens. Exact locations to be confirmed by project ecologist.
 - 1WI bat box location**
1WI Schwegler Summer and Winter Bat Box. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - 1FR bat tube location**
1FR Schwegler Bat Tube. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - Habitat bat box location**
Integrated Habitat Bat Box 001. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - Ibstock bat box location**
Ibstock enclosed Bat Box. To be in-built to the wall construction of new dwelling, at least 4m above ground level and not placed above windows.
 - Receptor bat box on pole location**
Receptor bat box 2F-DFP Schwegler Bat Box with double fronted panel to be installed on a pole at least 4m above ground level and south/west facing.



NOTES

All trees, feature shrubs, climbers, shrubs and hedges to be planted in accordance with the implementation and maintenance guidelines.

All landscape proposals must be referred to by the Structural Engineer during foundation design. No tree, feature shrub, climber, shrub and hedge species, size or location should be altered without prior approval from the Landscape Architect.

Individual shrubs within ornamental shrub mixes to be planted in groups of 3-7.

Lower growing species within ornamental shrub mixes to be planted at the front of the shrub bed (as indicated).

Hedgehog shrubs to be planted within a 60cm wide bed and mulched.

Setting operations to be carried out in accordance with the implementation and maintenance guidelines.

All planting to be carried out in accordance with the implementation and maintenance guidelines.

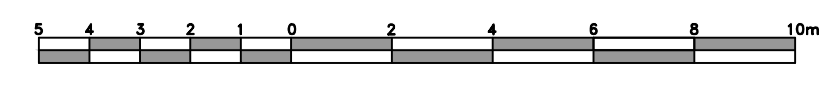
No species, variety, size or position to be amended without the Landscape Architect's prior approval.

Before trees are planted, the Landscape Contractor shall ascertain the location of drains from the site manager, and shall if necessary make minor adjustments to the positions to ensure that they are planted at least 1.5m from drains. They should however be planted no closer to houses/garages than is shown on the drawing, and if shown located in shrub beds, the shape of the latter should be adjusted if necessary to accommodate the revised tree position.

All planting must be finished in accordance with the implementation and maintenance guidelines.

Planting in required outside the October-March seasons, bare root plants will be replaced by 3 pot grown plants, and trees will be replaced by a containerised equivalent to be approved by the project Landscape architect.

All heights of existing boundary hedges to be maintained in line with the latest AIA (Ref: 2142 Focus Environmental Consultants), Hedge H1 (south-east boundary) is 3m high and hedge H11 (north-west boundary) is 4m high.



Street Scene



SPRING STREET - STREET SCENE



GIRTTON ROAD - STREET SCENE

This symbol indicates significant hazards which require further action, in addition to hazards and risks generally associated with works detailed on the drawing.

| | | | | | |
|---|--|--|--|--|-----------|
| J Mason Associates | | www.jmasonassociates.com Tel: 01543 467788 J Mason Associates St. Thomas House, Wolverhampton Road, Cannock, WS11 1AR | | J Mason Associates Registered in England & Wales 5093992 | |
| Client: GLOBE homes Ltd | | Drawing Title: Street Scene | | | |
| Project: Residential Development Girtton Road Cannock | | Stage: PLANNING Status: PRELIMINARY Sheet Size: A1 Scale: 1:150 Date: 23.11.2022 | | | |
| Job Number: 2319 | | Revision: 20 | | | Revision: |
| <p>Copyright of this drawing is vested in the J Mason Associates and it must not be copied or reproduced without formal consent. Only figured dimensions are to be taken from this drawing. All contractors and sub-contractors are responsible for taking and checking all dimensions relative to their work.</p> <p>Notify J Mason Associates immediately of any variation between drawings on site conditions. Where drawings are based on survey information received, surveys are available on request. All drawings to be read in conjunction with all relevant Structural and M&E Engineers drawings and specifications.</p> | | | | | |

| | |
|-------------------------|------------------------|
| Contact Officer: | Claire Faulkner |
| Telephone No: | (01543) 464 337 |

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| <p>Planning Control Committee 11 January 2023</p> |
|---|

| | |
|--------------------------|--|
| Application No: | CH/21/0476 |
| Received: | 20-Dec-2021 |
| Location: | Land off Girton Road, Cannock, WS11 0ED |
| Parish: | Non-Parish |
| Ward: | Cannock South |
| Description: | Erection of Two Apartment Buildings to Accommodate 24 No. Apartments, and Associated Development, including Access, Parking and Landscaping. |
| Application Type: | Full Planning Application Major |

Cllr call in to enable Members to fully assess the impact of the proposal on the existing properties.

Recommendation:

It is recommended that delegated authority be given to the Head of Planning to grant planning permission, subject to completion of a s106 legal agreement to:-

- secure a contribution for affordable housing provision equivalent to 1 unit for First Homes on site and a contribution towards 4 off-site units, and
- a financial contribution to mitigate recreation impacts upon Cannock Chase Special Area of conservation and conditions as detailed below.

Reason(s) for Recommendation:

In accordance with paragraph 38 of the National Planning Policy Framework the Local Planning Authority has worked with the applicant in a positive and proactive manner to approve the proposed development, which accords with the Local Plan and the National Planning Policy Framework.

Conditions (and Reasons for Conditions):

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

Site & Location Plan 2319 21 P

Block A - Elevational Sheet 2319 13 D

Block B - Elevational Sheet 2319 23 E

Block A – Floor Plans 2319 12 D

Block B – Floor Plans 2319 22 D

Street Scene 2319 20

Detailed Hard Landscape Zoning Plan P19-3117_02- B

Detailed Soft Landscape Proposals P19-3117_01-B

Drainage Strategy Plan P19-3177 004_SK E

Overland Flow Route P19-3117 005_SK C

Tree Removal & Protection Plan 2162-P-12 Rev 3

Reason

For the avoidance of doubt and in the interests of proper planning.

2. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990.

3. No part of the development hereby approved shall be commenced until details of the materials to be used for the external surfaces have been submitted to and approved by the Local Planning Authority.

Reason

In the interests of visual amenity and to ensure compliance with Local Plan Policies CP3, CP15, CP16, RTC3 (where applicable) and the NPPF.

4. No trees or hedges shown as retained on The Site & Location Plan, shall be cut down, topped, lopped, uprooted or removed without the prior written permission of the Local Planning Authority nor shall they be wilfully damaged or destroyed.

Any trees or hedges which, within a period of 5 years from completion of the development are cut down, topped, lopped or uprooted without permission of the Local Planning Authority or become seriously damaged or diseased or die shall be replaced in the next planting season with similar size and species unless the Local Planning Authority gives written consent to any variation.

Reason

The existing vegetation makes an important contribution to the visual amenity of the area. In accordance with Local Plan Policies CP3, CP14, CP12 and the NPPF.

5. The approved landscape works as identified on Dwg. Nos. Detailed Hard Landscape Zoning Plan P19-3117_02- B / Detailed Soft Landscape Proposals P19-3117_01-B shall be carried out in the first planting and seeding season following the first occupation of any buildings or the completion of the development whichever is the sooner.

Reason

In the interest of visual amenity of the area. In accordance with Local Plan Policies CP3, CP12, CP14 and the NPPF.

6. Works carried out to the trees shall be done fully in accordance with the details approved within the Tree Removal & Protection Plan 2162-P-12 Rev 3 and the Works listed within the Tree Survey Schedule of the Arboricultural Survey and Impact Assessment dated November 2022. Any other works required to the trees shall first be submitted to and approved in writing by the Local Planning Authority prior to the works being carried out.

Reason

To ensure the retention and protection of the existing vegetation which makes an important contribution to the visual amenity of the area. In accordance with Local Plan Policies CP3, CP12, CP14 and the NPPF.

7. Prior to the commencement of any construction or site preparation works including any actions likely to interfere with the biological function of the retained trees and hedges, approved protective fencing shall be erected in the positions shown on the approved Tree & Hedge Protection layout drawing Ref Dwg. No. Tree Removal and Protection Plan 2162-P-12 Rev 3.

Within the enclosed area known as the Tree Protection Zone, no work will be permitted without the written consent of the Local Planning Authority. No storage of material, equipment or vehicles will be permitted within this zone. Service routes will not be permitted to cross the Tree Protection Zones unless written consent of the Local Planning Authority is obtained. The Tree Protection Zone will be maintained intact and the vegetation within maintained until the cessation of all construction works or until the Local Planning Authority gives written consent for variation.

Reason

To ensure the retention and protection of the existing vegetation which makes an important contribution to the visual amenity of the area. In accordance with Local Plan Policies CP3, CP12, CP14 and the NPPF.

8. The development hereby permitted shall not be occupied until the following window(s) as indicated on the approved plan are obscure glazed:-
 - i) On Dwg. Ref.:- Block A Floor Plans:-
 - a) The kitchen / diner windows in elevation facing No.49 Spring Street in flats 6 & 7,
 - b) The windows serving the kitchen, bathroom and store rooms in flats 9, 10, 11 and 12
 - ii) On Dwg. Ref.:- Block B Floor Plans:-
 - a) The hall window in flat 12

The window(s) shall be non-opening unless the parts of the window which can be opened are more than 1.7m above the floor of the room in which the window is installed.

Thereafter the window(s) will be retained and maintained as such for the life of the development.

Reason

To ensure that the development does not give rise to overlooking of adjoining property injurious to the reasonable privacy of the occupiers and to ensure compliance with Local Plan Policies CP3 Chase Shaping - Design, and the NPPF.

9. If during development, contamination not previously identified is found to be present at the site, no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until either;

A site investigation has been designed and undertaken in accordance with details approved in writing by the Local Planning Authority, a risk assessment has been produced and a method statement detailing remediation requirements using the information obtained from the site investigation has been approved by the Local Planning Authority; or

If the above has been previously undertaken, the developer has submitted and obtained written approval from the Local Planning Authority for an addendum to the method statement detailing how this unsuspected contamination shall be dealt with.

Reason

In order to enable the development to proceed in a safe environment and to protect the health and safety of its occupiers and to ensure compliance with Local Plan Policy CP3 and the NPPF.

10. The development hereby permitted should not commence until drainage plans for the disposal of foul and surface water flows have been submitted to and approved by the Local Planning Authority.

The scheme shall thereafter be implemented in accordance with the approved details before the development is first brought into use.

Reason

To ensure that the development is provided with a satisfactory means of drainage as well as to prevent or to avoid exacerbating any flooding issues and to minimise the risk of pollution.

11. No development shall take place until a site specific Construction Environmental Management Plan has been submitted to and been approved in writing by the local planning authority. The plan must demonstrate the adoption and use of the best practicable means to reduce the effects of noise, vibration, dust and site lighting.

Reason: In the interests of the amenities of surrounding occupiers during the construction of the development.

12. No plant or machinery shall be operated, no loading or unloading of vehicles and no movement of commercial vehicles to or from the site and no construction works shall take place outside the hours of 08:00hrs to 18:00hrs Monday to Friday, 08:00hrs to 13:00hrs on Saturdays. None of the above operations shall be carried out at any time on Sundays or Bank or Public Holidays.

Reason

To ensure that the proposed development does not prejudice the enjoyment by neighbouring occupiers of their properties and to ensure compliance with Local Plan Policy CP3.

13. Notwithstanding the approved plans, prior to first occupation of the development hereby approved, details of the bin store areas shall be provided to and approved in writing by the Local Planning Authority.

Thereafter the approved details shall be implemented and retained for the lifetime of the development.

Reason

To ensure development is appropriate to the residential location in accordance with Policy CP3 of the Cannock Chase Local Plan and the relevant paragraphs of the National Planning Policy Framework.

14. Notwithstanding the approved plans, prior to first occupation of the development hereby approved, details for the secure and covered cycle parking facilities shall be provided to and approved in writing by the Local Planning Authority.

Thereafter the approved details shall be implemented and retained for the lifetime of the development.

Reason

In the interests of highway safety and the National Planning Policy Framework.

15. The ecological enhancements as detailed on the Detailed Soft Landscaping Proposals Plan P19-3117_02 – B shall be provided in the first planting and seeding season following the first occupation of any buildings or the completion of the development whichever is the sooner.

Thereafter the approved details shall be retained for the lifetime of the development.

Reason

In the interests of enhancing bat breeding habitat in accordance with Policy CP12 of the Local Plan and paragraphs 170, 175, 177, 179 of the NPPF.

16. Notwithstanding the approved plans, details of the solar panels to be used shall be provided to and approved in writing by the Local Planning Authority prior to their installation.

Thereafter the approved details shall be implemented and retained for the lifetime of the development.

Reason

Notes to the Developer:

1. Coal Authority

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority

2. The Highway Authority

The works required in Condition 1 require a Section 184 Notice of Approval from Staffordshire County Council. The link below provides a further link to 'vehicle dropped crossings' which includes a 'vehicle dropped crossing information pack' and an application form for a dropped crossing. Please complete and send to the address indicated on the application form which is Staffordshire County Council at Network Management Unit, Staffordshire Place 1, Wedgwood Building, Tipping Street, Stafford, Staffordshire, ST16 2DH. (or email to nmu@staffordshire.gov.uk)
Vehicle access crossing (dropped kerb) - Staffordshire County Council

3. Environmental Health

Typical Gas Protection Measures due to the proposed site sitting within 250m of a former land fill site. Should gas protection measures be required, they must be designed in accordance with current UK guidance and best practice. The type of gas protection measures required at a site will vary depending on the specific circumstances of the site in question. As an example situation, typical gas protection measures complying with Characteristic Situation 2 in CIRIA C665.

Please refer to BS8485:2015 Code of Practice for the design of protective measures for methane and carbon dioxide ground gases for new buildings and CIRIA C665 (2007) Assessing risks posed by hazardous ground gases to buildings for further information.

Verification Requirements

The testing and verification of the installation of gas protection measures must be carried out in accordance with current guidance and best practice, namely:

CIRIA C735 Good practice on the testing and verification of protection systems for buildings against hazardous ground gases; and BS8485:2015 Code of practice for the design of protection measures for methane and carbon dioxide ground gases for new buildings Verification should always been carried out by an appropriate independent third party such as an experienced and suitably trained verification consultant or third party qualified and experienced installer.

4. Fire Safety

Appropriate supplies of water for fire fighting and vehicle access should be provided at the site, as indicated in Approved Document B Volume 1 requirement B5, section 13 and section 14.

In the interest of preventing deaths and injuries from fires within domestic dwellings Staffordshire Fire and Rescue Service strongly recommend the provision of a sprinkler system to a relevant standard.

Consultations and Publicity

Internal Consultations

Environmental Health

No objection subject to conditions and advisory notes

Parks & Open Spaces

The site does not fall within any formal landscape designations but contains a number of trees protected under TPO2018/3.

No objection to the principal of development of the site, pending the resolution of a number of matters raised during the consultation.

No comments received to date regarding the amended plans submitted for clarification in response to the above comment. Officers will provide Members with a verbal update if a response is provided.

CIL Officer

The development would be CIL liable

Economic Development

Economic Development have no objection to the application

Strategy Housing

On developments of 15 or more 20% is required for affordable housing. The proposed development therefore has a requirement for 5 affordable units. Government policy now states that 25% of a local authorities affordable housing requirement should be for First Homes (25% of 20%). 1 unit is therefore required for First Homes, 3 rented units and 1 shared ownership. However, Registered Providers may prefer to manage 4 rental units which would be acceptable.

Development Plans and Policy

The site does not fall within any designated areas shown on the Local Plan Policies Map.

The site is a former playing field and the use of this ceased in 2006 along with the primary school the playing field was affiliated with.

External Consultations

Sport England

As the playing field has not been used for at least five years, the consultation with Sport England is not a statutory requirement and Sport England have confirmed that their response has been made in a non statutory capacity.

Sport England have however, suggest the applicant provide an off-site contribution of £37,100 equivalent cost of providing an u9/10s pitch based on Sport England costings (equivalent percentage cost of an adult football pitch), towards pitch improvements at existing sites which would mitigate for the loss of the playing field site.

NSDG Group Manager

No objection

Natural England

No objection - subject to appropriate mitigation being secured

European Designations:

Cannock Chase SAC – No objection – Appropriate Assessment Undertaken

Cannock Chase SSSI – No objection - Based on the plans submitted, Natural England considers that the proposed development will not damage or destroy the interest features for which the site has been notified and has no objection.

County Flood Risk Management (SUDS)

No objection

Staffordshire County Council Mineral Officer

In this particular situation, the site is small, and constrained by residential development on all sides, so it is unlikely that extraction of any underlying shallow coal would be practicable or environmentally acceptable in the foreseeable future.

Staffordshire County Council Education Authority

The planning application would not result in an education contribution and is therefore acceptable from an education perspective.

Crime Prevention Officer

It is important that a high level of physical security is incorporated in this proposal, and that it conforms to the minimum standard of security outlined within these recommendations.

Travel Management and Safety

No objection subject to condition and informative

Severn Trent Water

No objection subject to condition

South Staffordshire Water Plc

We appear to have no water mains assets affected by this scheme, within the site boundary shown on the proposed site plan.

Response to Publicity

The application has been advertised by site notice and neighbour letter. 16 letters of representation have been received. These are summarised below:-

- The proposal would have an impact on privacy
- The proposal would have a fundamental effect on the enjoyment of my own property and gardens
- There would be a huge reduction in direct sun light as a result of the high building.
- What would the boundary treatments be?
- The dwellings are going to be very close to my curtilage. This makes me feel anxious of noise pollution, light pollution, lack of privacy and also over development of the sight [sic].
- The plot of land isn't at all large enough to build 24 apartments on and also be able to cater enough parking spaces, 35 spaces planned but most households have 2 cars so where will the overflow parking be?
- Spring street is not a full width highway at only 16ft wide, the entrance to the development site is going to be awfully tight and possibly dangerous with an increased traffic flow on a currently quiet road, especially if residents have to park on the street due to lack of parking spaces provided. Would it not make more sense to have the entrance along Girton Road where the high way is wider with even less traffic?
- The noise factor from people and cars coming and going, night noise from cars, car doors slamming, and people coming and going.
- With new buildings, roads and carparks, the natural drainage would be reduced, with less area for rainfall to naturally soak away, the rainwater would have to be diverted into the existing drain system, a system which in times of heavy rain, already appears to be overloaded.
- Finally the long term impact on the wildlife that is in abundance on the site. Also the impact of the building staff eg JCB'S, dust,noise parking ex-cetera.
- There are already parking problems in the area due to the town centre, railway station being close and contractors using the roads for parking. This development will worsen the current situation.
- We have concern regarding stability of our property and surroundings for example, the land may be graded or slope in some way and subsidence is a concern. Any excavation work may have a serious impact upon the stability of the existing structures.
- Flats are not appropriate in this location, the area is 1 and 2 storey.
- Girton Road is subject to flooding at times
- We would have no objection to bungalows being built for the aging population
- The proposal is being pushed through without full disclosure to all residents

- Why has a traffic survey not been completed especially given that Spring Street is used as a rat run. The proposal would increase traffic flow along an already narrow street (Spring Street).
- Difference in levels between the site and surrounding dwellings is already elevated
- The existing houses are of a traditional design and architecture, the modern flats would not be inkeeping with this.
- It is my human right to be able to enjoy my property
- Additional evening light pollution
- Glad to see the retention of the hedgerows and some trees
- Appropriate process for sale of the land

Relevant Planning History

CH/06/0360 - Residential development (Outline) - Outline-Approval With Conditions - S106

Whilst its lawful use in planning terms would be as a playing field (due to its former use), it has been left in-situ, unused since 2006, when the associated school closed. The Department for Education's document 'Disposal or change of use of playing field and school land' (May 2015) sets out that Section 77 of the School Standards and Framework Act 1998 (SSFA 1998) does not allow local authorities to dispose of land which was used for playing fields for the purposes of a maintained school, until a ten year period has expired. This period expired in August 2016, hence Staffordshire County Council was able to dispose of the land, as set out above.

1 Site and Surroundings

- 1.1 The application site comprises a former playing field surrounded with mature hedges and numerous trees sited at the junction of Girton Road and Spring Street.
- 1.2 The application site is currently vacant and laid to grass. It comprises of around 0.4 hectares, located on the northern edge of Girton Road. The application site is surrounded by existing residential development, with adjoining properties along the eastern and northern boundaries.
- 1.3 The former playing field was used by the Springvale Primary School, previously located nearby to the west. The school closed on 31st August 2006. The field has remained in-situ, but unused since that date. The application site is no longer tied to the school.
- 1.4 To the north of the application site is No. 49 Spring Street along with a large rear garden and paddock. The application site borders Girton Road to the south, with residential properties beyond. To the east are residential properties which also front onto Girton Road, with a railway line (the Chase Line) located beyond, approx. 60 metres from the eastern boundary that runs in a north – south direction. Cannock Railway Station is less than 400 metres distant. Bordering the application site to the west is Spring Street with residential properties beyond.

- 1.5 Ground levels vary within the application site and in the wider area, with sloping from north to south with the two storey properties to the north and to the east being on notably higher levels than the dwellings located on the southern side of Girton Road.
- 1.6 Residential properties in the area comprise of various designs being a combination of two storey and single storey with some three storey further from the site.
- 1.7 The application site benefits from several trees that are protected under TPOs. These are sited along the highway boundaries. The application site is located within a Mineral Consultation Area and a Low Risk Area as defined by the Coal Authority.

2 Proposal

- 2.1 The applicant is seeking consent for erection of two apartment buildings to accommodate 24 no. apartments, and associated development, including access, parking and landscaping.
- 2.2 The southern apartment building, comprises a two-storey design and would be positioned back from Spring Street and Girton Road behind the existing hedgerow and frontage trees.
- 2.3 The northern apartment building, comprises a two-storey height along the frontage with Spring Street and adjacent to No. 49 Spring Street to the north. However, the southern/eastern part of this building, located within the centre of the application site, approx. 20 metres from the nearest residential property (No. 49 Spring Street), would be 3 storeys in height.
- 2.4 The proposal would provide a private road with associated private parking for 36 vehicles. The proposed access would be from Spring Street and would lead to the parking area which would also provide space for vehicle turning.
- 2.5 Two bin collection points would be provided (one for each apartment building), both located at the entrance of the application site to allow for adequate access and collection in line with waste service standards.
- 2.6 The scheme also includes the use of roof mounted solar panels and provides 6 no. electric charging points and cycle storage areas.

3 Planning Policy

- 3.1 Section 38 of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the provisions of the Development Plan, unless material considerations indicate otherwise.
- 3.2 The Development Plan currently comprises the Cannock Chase Local Plan Part 1 (2014) and the Minerals Local Plan for Staffordshire (2015 – 2030).

Cannock Chase Local Plan Part 1

3.3 Relevant policies within the Local Plan include: -

CP1 - Strategy – the Strategic Approach

CP2 – Developer Contributions

CP3 - Chase Shaping – Design

CP6 – Housing Land

CP7 – Housing Choice

CP8 – Employment Land

CP10 - Sustainable Travel

CP12 – Biodiversity and Geodiversity

CP13 – Cannock Chase SAC

CP16 – Climate Change

3.4 Relevant Policies within the Minerals Plan Include:

Policy 3: - Safeguarding Minerals of Local and National Importance and Important Infrastructure

3.5 Relevant paragraphs within the NPPF include paragraphs: -

8: Three dimensions of Sustainable Development

11-14: The Presumption in favour of Sustainable Development

47-50: Determining Applications

64: Affordable housing not required for non major applications

111: Highway Safety and Capacity

126, 130, 132, 134: Achieving Well-Designed Places

174, 180: Biodiversity

183-185 Ground Conditions and Pollution

218, 219 Implementation

3.6 Other relevant documents include:

(i) Design Supplementary Planning Document, April 2016.

(ii) Cannock Chase Local Development Framework Parking Standards, Travel Plans and Developer Contributions for Sustainable Transport.

(iii) Manual for Streets

4 Determining Issues

4.1 The determining issues for the proposed development include: -

- i) Principle of development
- ii) Design and impact on the character and form of the area
- iii) Impact on residential amenity.
- iv) Impact on highway safety.
- v) Impact on nature conservation
- vi) Drainage and flood risk
- vii) Mineral safeguarding
- viii) Waste and recycling facilities
- ix) Ground conditions and contamination
- x) Affordable housing

4.2 Principle of the Development

4.2.1 Both paragraph 11 of the NPPF (2021) and Cannock Chase Local Plan 2014 Policy CP1 state that there should be a presumption in favour of sustainable development. The presumption in favour of sustainable development is set out in paragraph 11 of the NPPF.

4.2.2 The starting point of the assessment is therefore whether the proposal is in accordance with the development Plan and whether that plan is up to date. In that respect it is noted that Policy CP1 of the Local Plan states: -

“In Cannock Chase District the focus of investment and regeneration will be in existing settlements whilst conserving and enhancing the landscape of the AONB, Hednesford Hills, Green Belt and the green infrastructure of the District. The urban areas will accommodate most of the District’s new housing and employment development, distributed broadly in proportion to the existing scale of settlement.”

4.2.3 Other than the above general strategic approach there are no relevant policies within the Local Plan in respect to the approach to be taken with regard to the development of wind-fall sites. As such the proposal falls to be determined in accordance with the tests set out in subsection (d) (i) or (ii) of paragraph 11 of the NPPF.

4.2.4 In respect to the location of the site it is within a predominantly residential location approximately 180m from the town centre, close to the schools and served by bus routes giving access by public transport. As such the site has good access by public transport, walking and cycling to a range of goods and services to serve the day to day needs of the occupiers of the proposed development. The site is not located within either Flood Zone 2 or 3 and it is not designated as a statutory or non- statutory site for nature conservation nor is it located within a Conservation Area (CA) nor does it affect the setting of a designated or undesignated heritage asset.

- 4.2.5 In this instance, the proposal would provide clear social benefits by providing additional housing choice for the local area. The increase in residents and associated wealth generation will contribute toward local services and facilities, as well as add to an existing strong and vibrant community. The proposal would also provide clear economic benefits, with the proposal comprising an effective reuse of a vacant site, unused for over 15 years. However, Local Plan Policy CP5 states that there will be a presumption against the loss of playing pitches unless they are surplus and clearly no longer required to meet demand for any of the identified purposes or:-
- (i) the wider sustainability benefits or major community benefits delivered by the proposal outweigh the loss (taking into account the value of the site),
 - (ii) Appropriate mitigation measures and / or replacement space / facilities, equivalent or better in terms of quality and accessibility can be provided to compensate for the loss of the site and its value.
- 4.2.6 In addition to the above paragraph 99 of the NPPF states that existing open space, sports, and recreational buildings and land, including playing fields, should not be built on unless (amongst others):-
- a) An assessment has been undertaken which has clearly shown the open space, buildings or land to be surplus
- 4.2.7 In this instance, the application site relates to a former football playing field that was associated with the former school (closed since 2006). As such, in line with paragraph 99 of the NPPF the applicant has provided an Open Space Assessment with which to inform the application.
- 4.2.8 This assessment found that from the evidence available regarding playing pitches in the district; 2018 Playing Pitch Assessment and 2019 Playing Pitch Strategy, it is very clear that the application site is not required for any specific provision in that regard. The application site is not designated for any use in the Council's adopted Local Plan and does not form part of the Council's designated 'Green Space Network'. The application site is also notably identified as being suitable, available and achievable for residential development within the Council's most up to date Strategic Housing Land Availability Assessment (SHLAA) 2020 document as a possible future residential development site with an indicative capacity of 14 dwellings within 6-15 years.
- 4.2.9 The applicant assessment concludes that this existing area of open space is surplus to requirements, in compliance with NPPF Paragraph 99 (a), and therefore the development of the site for residential purposes would be in accordance with Policy CP5 of the adopted Local Plan Part 1.
- 4.2.10 Notwithstanding the above, your Officers note the comments provided by Sport England in regard to the application. Your Officers confirm however that Sport England have provided a response in a non-statutory capacity.

- 4.2.11 Sport England have confirmed that the application site is not included within the Council's Playing Pitch Strategy (PPS) as such there is no recommendation for the protection of the site.
- 4.2.12 Sport England did however suggest that the PPS identifies that there are current and future shortfalls in some football pitch types, 3G football pitch and rugby pitches. The PPS identifies pitch quality improvements or additional facilities (sports lighting or artificial wickets) at existing sites or where appropriate reconfiguration of pitch types, could help address the identified shortfalls in provision. As such Sport England have suggested that if the Planning Authority are minded to approve the application, an off-site contribution of £37,100 should be sought. This would be towards pitch improvements at existing sites which would mitigate for the loss of the playing field site.
- 4.2.13 Notwithstanding the above, your Officers confirm that there is no specific mention of the application site in either the 2018 Playing Pitch Assessment or the 2019 Playing Pitch Strategy document due to the length of time since the pitch has been closed (15 yrs). Therefore, it is clear there is no requirement for the application site to be used for any such use and it is not protected from development. Further, the pitch is closed off from the public by the palladin fencing that denotes the boundaries of the site. Given the above, your Officers do not consider the development would result in the loss of a playing pitch and therefore do not consider it reasonable to seek financial contributions towards existing pitches.

The PPS states that whilst there is currently an insufficient supply of full sized 3G pitches to meet current demand this shortfall will be addressed once the conversion of the small sized 3G pitch at Rugeley Leisure Centre to a full size 3G pitch is complete. Although your Officers do acknowledge that the timescale for this is currently unknown.

- 4.2.14 Further to, and notwithstanding the above, the principal of residential development on this site has previously been established in the resolve to grant planning permission for CH/06/0360 which sought residential development (Outline). This permission however was never fully granted as the s106 was not completed.
- 4.2.15 Given the above, proposals that are acceptable in principle are still subject to all other policy tests. This report will now go on to consider the proposal in the light of these policy tests.

4.3 Design and the Impact on the Character and Form of the Area

- 4.3.1 The application site is identified as being located within the South and West Cannock Character Area; this character area is identified as being in a suburban area Character Area Density Zone. The Character Area Descriptions and District Profile for South and West Cannock, states that it is an area predominantly residential development with some fringe town centre commercial uses along main road. Limited industrial/Victorian housing with more extensive medium/low density 'leafy suburban' interwar and postwar housing, particularly in west of area.
- 4.3.2 The proposal would construct two separate blocks of flats with associated amenity and parking provision. The objections received in respect to the proposed modern flats not being in keeping with the surrounding properties are noted. However design is subjective and in this instance, whilst the contemporary design of the

buildings would not reflect the immediate properties it is considered that the design and finish would compliment the surroundings wherein there is new development.

- 4.3.3 The design approach that has been adopted seeks a scale that, whilst the proposal would provide a three-storey element, it would be little different in height to the existing two storey dwelling at No. 49 Spring Street due to the difference in levels within and around the site. Furthermore, the three-storey element has been designed to be centrally located within the site, some distance from the boundaries, and screened from the adjacent highways by the two storey elements of the proposal. As such it is considered that the proposal would assimilate well within the already varied street scene.
- 4.3.4 The parking provision has been designed to be within the site and bound on two sides by the buildings themselves. This would result in the frontage hedgerows and trees being retained and a deep green buffer behind, which would further soften the appearance of the proposal. As such, the plans demonstrate how the proposal would sit comfortably within the site and would not result in overdevelopment within this residential location as suggested by some of the objectors.
- 4.3.5 With regard to the trees, there are trees around the boundaries of the site, in particular the Girton Road and Spring Street boundaries. A number of trees along these boundaries are protected by Tree Preservation Orders (TPO). Paragraph 131 of the NPPF stresses the importance trees make to the character and quality of urban environments and that opportunities are taken to incorporate trees into new development.
- 4.3.6 As such, the applicant has submitted a tree survey with which to inform the application. The report confirms that the development would not excavate within Root Protection Areas (RPAs) as the buildings and drainage have been designed to avoid these locations. While trees T4 and T9 would require minor crown pruning to create new cyclical management points, the level of pruning is in line with British standards and other examples within the local area. Only the internal aspect of the tree crowns would be pruned, meaning that any loss of public amenity will be negligible, and the character and appearance of the area will remain unchanged.
- 4.3.7 Your Officers confirm that any future works to the TPO trees would be controlled by the Local Authority. Overall, Landscape Officers raised no objection to the proposal subject to appropriate conditions being recommended.
- 4.3.8 Therefore, having had regard to Policy CP3 of the Local Plan and the above-mentioned paragraphs of the NPPF it is considered that the proposal would be well-related to existing buildings and their surroundings, successfully integrate with existing features of amenity value, maintain a strong sense of place and visually attractive such that it would be acceptable in respect to its impact on the character and form of the area.

4.4 **Impact on Residential Amenity**

- 4.4.1 In this respect, the application site is surrounded by residential properties; to the south on Girton Road, two storey dwellings face the application site, separated by the highway. To the west, single storey dwellings face the application site across

the highway and to the north and east, properties side onto the application site. The comments from the neighbours are noted in relation to overlooking, direct daylight, potential noise, evening light pollution, differing levels and enjoyment of surrounding gardens.

- 4.4.2 In this instance, the two blocks of flats would be oriented towards the two highways and within the site itself. The dwellings opposite the application site on the southern side of Girton Road, whilst on a lower level than the application site would remain approx. 31m from the front elevation of the southern block. The applicant has provided a street scene drawing that demonstrates how the proposal would sit comfortably within the site and in relation to these dwellings. The hedgerow and trees along this boundary would be retained. As such, there would be no significant material impact to the occupiers of these properties.
- 4.4.3 The dwellings to the west, on the eastern side of Spring Street are single storey however they would remain approx.. 22m from the proposed development. The hedgerow would, for the majority be retained with the exception of the proposed access. The street scene drawing provided by the applicant demonstrates how the proposal would sit comfortably within the site even with the difference in levels. As such, there would be no significant material impact to the occupiers of these properties.
- 4.4.4 To the north of the application site No. 49 Spring Street sides onto the application site. It is noted that there are windows in the side elevation of No.49 Spring Street that face towards the application site. There are windows proposed in the side elevation of the northern block at first floor level that would face towards No. 49 however these are secondary windows into an open plan living area. As such, a condition has been recommended for these windows to remain obscure glazed to ensure there is no significant detrimental impact to the occupiers of the existing dwelling.
- 4.4.5 The proposed three storey block would have rear elevations facing towards the shared boundary with No. 49 Spring Street. These would remain approx.. 16m from the shared boundary and as such would not result in any significant impact from overlooking. The majority of the windows in this elevation are to bathrooms or store rooms and as such, a condition for them to remain obscurely glazed has been recommended in order to reduce the perception of overlooking.
- 4.4.6 The dwellings to the east of the application site, within Girton Road share a rear boundary with the application site with the exception of No. 46 which shares a rear and side boundary with the site. In this respect it is noted that this dwelling has windows in the side elevation that face onto the application site. The southern block would be constructed adjacent No. 46 and would have a side elevation facing towards this existing dwelling. A distance of 5m would separate the proposed development from the corner of No. 46 and the existing hedgerow between the two retained. There is a window shown in the side elevation of the proposed development at first floor level that would face No. 46 however this is to a hall and not a habitable room and as such a condition for the window to be provided as obscure glazed has been recommended.
- 4.4.7 The rear boundary of No. 46 Girton Road also runs along the application site. In this instance, the parking area would be located to the rear of Nos 46 – 54 Girton Road. The distance of the parking provision from these dwellings would vary due

to the orientation of the boundary line however at the nearest point it would be adjacent to the rear boundary with No. 48 before extending back to approx.. 6m from the rear boundary with No. 54. The issue of potential noise was raised by an objector in respect to the parking areas and the potential access which would be provided opposite No. 62 Spring Street.

4.4.8 In this respect paragraph 185 of the NPPF seeks to ensure new development does not result in any significant impact to the occupiers of the existing properties. Environmental Health Officers were consulted on the application and raised no objections in respect to noise.

4.4.9 With regard to the potential future noise generated from the proposal, Your Officers confirm that the application is for residential development and as such any noise generated from this use would be compatible with the surrounding development which comprises of residential properties.

Your Officers have however, recommended a condition to restrict construction hours throughout the course of the development to ensure there is no significant detrimental impact to occupiers of surrounding properties.

4.4.10 The comments of the objectors in terms of impact on light are noted. The applicant has submitted a Daylight & Sunlight Assessment produced by BRE regarding both future and existing occupiers of the site and surroundings. The Assessment demonstrates the development would not cause overshadowing or loss of light to neighbouring properties. The Assessment further confirmed that the development would meet the relevant BS EN 17037 (Daylight in Buildings) standards.

4.4.11 Given the above, and subject to the recommended conditions, it is considered that, on balance, the proposal would not cause any significant detrimental impact upon amenity to the occupiers of the neighbouring units. The proposal is therefore considered acceptable in accordance with Local Plan Policy CP3 and the NPPF.

4.4.12 In terms of the future occupiers of the site, it is noted that the application site lies within close proximity to the railway line. As such, the applicant has submitted a Noise Assessment with which to inform the application. This has carried out an assessment of traffic noise and railway noise at the application site.

The report concluded that railway noise levels at the application site have been found to be very low and thus no mitigation measures are necessary in respect of railway noise. The immediate surrounding roads were found to be lightly trafficked and no enhanced sound insulation measures would be required.

4.4.13 Furthermore, the proposal exceeds the Council's amenity space standards set out in the Design Guide SPD, providing 1250sqm of communal open space compared to the requirement of 720sqm for this proposal.

4.4.14 In light of the above, it is considered that the proposal would provide a high quality standard of accommodation and amenity for the future occupiers of the proposed building. As such, the proposal accords with Local Plan Policy CP3 and the relevant paragraphs of the NPPF.

4.5 Impact on Highway Safety

- 4.5.1 Paragraph 111 of NPPF states that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 4.5.2 The proposal would be accessed from Spring Street which borders the application site to the western boundary. It would provide a new access point and associated internal private access road. In this respect, the comments of the objectors are noted in terms of lack of parking and suitability of the existing highway network.
- 4.5.3 The proposal would provide 36 no. car parking spaces within a communal parking courtyard. This level of provision would represent 1.5 car parking spaces for each apartment and would exceed the Council's adopted parking standards as set out in the 'Parking Standards, Travel Plans and Development Contributions for Sustainable Transport' SPD (2005), due to the sustainable location of the application site in relation to the Railway Station and town centre which has regular train and bus services.
- 4.5.4 The proposal would also provide communal cycle storage areas for each apartment building. The parking areas and cycle stores are positioned adjacent to, and overlooked by, the apartment buildings to provide natural surveillance. Whilst the location of the cycle stores are identified on the plans the details for the cyclestores are not provided. As such, a condition has been recommended for these details to be provided.
- 4.5.5 The proposal would also provide 6 no. electric vehicle charging points which will facilitate and encourage the use of electric vehicles, which would also assist in achieving national climate change targets and reduce air pollution.
- 4.5.6 The Highway Authority was consulted on the application and raised no objection to the proposal.
- 4.5.7 The comments from the Environmental Health Officer are noted in terms of requiring a condition for the EV Charging point details. However the location of the EV charging points are identified on the submitted plans and the details of such charging points would be covered via Building Regulations. It is not the duty of the Planning Authority to duplicate legislation and therefore in this instance, your Officers are not recommending this condition.
- 4.5.8 Given the above, and subject to the relevant conditions being recommended, the proposal would not result in significant harm to highway safety in accordance with paragraph 111 of the NPPF.

Impacts of Cannock Chase Special Area of Conservation

- 4.6.1 Under Policy CP13 development will not be permitted where it would be likely to lead directly or indirectly to an adverse effect upon the integrity of the European Site network and the effects cannot be mitigated. Furthermore, in order to retain the integrity of the Cannock Chase Special Area of Conservation (SAC) all development within Cannock Chase District that leads to a net increase in dwellings will be required to mitigate adverse impacts. There is a net increase in dwellings of 24 No. such that SAC mitigation contributions are required. Such contributions will be secured by CIL / s106.

4.6.2 The comments of the objectors are noted in respect to the wildlife on the site. However, the application site is not subject to any formal or informal nature conservation designation and is not known to support any species that is given special protection or which is of particular conservation interest. As such the site has no significant ecological value and therefore the proposal would not result in any direct harm to nature conservation interests.

4.6.3 In order to enhance the nature conservation opportunities for the site, the proposal includes the incorporation of bat boxes, bird boxes, vehicle charging points and solar panels in the construction of the proposal. Such enhancements would provide a net gain to this location and would be secured via the relevant conditions that Officers have recommended.

4.6.4 Given the above it is considered that the proposal, would not have a significant adverse impact on nature conservation interests either on, or off, the site. In this respect the proposal would not be contrary to Policies CP3, CP12 and CP13 of the Local Plan and the NPPF.

4.7 **Drainage and Flood Risk**

4.7.1 The site is located in Flood Zone 1 on the Environment Agency's Flood Zone Maps. The comments of the objectors are noted in terms of the flooding of Girton Road, the already overloaded infrastructure and the loss of natural soakaways due to the development.

4.7.2 In this respect it is noted that paragraph 159 of the NPPF states 'inappropriate development in areas at risk of flooding should be avoided by directing development away from areas at highest risk (whether existing or future)' adding 'where development is necessary in such areas, the development should be made safe for its lifetime without increasing flood risk elsewhere'.

4.7.3 It is noted that the site is within close proximity to a main road and is within a built-up area. As such it is in close proximity to drainage infrastructure that serves the surrounding area and is considered acceptable.

4.7.4 The applicant has provided a Drainage Strategy and Overland Flow Route diagram with which to inform the application. Severn Trent was consulted on the application and raised no objection to the proposal subject to the recommended conditions. Furthermore Staffordshire Lead Flood Authority was also consulted on the application and raised no objection to the proposal in terms of flood risk.

4.7.5 Given the above, it is concluded that the proposal would be acceptable from a flood risk and drainage perspective.

4.8 **Mineral Safeguarding**

4.8.1 The site falls within a Mineral Safeguarding Area (MSAs) for Coal and Fireclay. Paragraph 209, of the National Planning Policy Framework (NPPF) and Policy 3 of the Minerals Local Plan for Staffordshire (2015 – 2030), both aim to protect mineral resources from sterilisation by other forms of development.

4.8.2 Policy 3.2 of the new Minerals Local Plan states that:

'Within a Mineral Safeguarding Area, non-mineral development except for those types of development set out in Appendix 6, should not be permitted until the prospective developer has produced evidence prior to determination of the planning application to demonstrate:

- a) the existence, the quantity, the quality and the value of the underlying or adjacent mineral resource; and
- b) that proposals for non-mineral development in the vicinity of permitted mineral sites or mineral site allocations would not unduly restrict the mineral operations.

4.8.3 The application site is located within a Mineral Safeguarding Area. Notwithstanding this, the advice from Staffordshire County Council as the Mineral Planning Authority In this particular situation, the site is small, and constrained by residential development on all sides, so it is unlikely that extraction of any underlying shallow coal would be practicable or environmentally acceptable in the foreseeable future.

4.8.4 As such, the proposal would not prejudice the aims of the Minerals Local Plan.

4.9 **Waste and Recycling Facilities**

4.9.1 Policy CP16(1) (e) 'Climate Change and Sustainable Resource Use' of the Cannock Chase Local Plan states that development should contribute to national and local waste reduction and recycling targets according to the waste hierarchy'. One of the ways of achieving this is by ensuring development can be adequately serviced by waste collection services and that appropriate facilities are incorporated for bin collection points (where required).

4.9.2 In this respect, it is noted that the proposed layout makes provision for two separate bin store areas; one adjacent to each residential block, both of which are located within close proximity to the access. Given the prominent location of the proposed bin points the bin areas would need to be housed appropriately. A condition has been recommended for the details of the bin areas to be provided to ensure they are appropriate to their location.

4.10. **Ground Conditions and Contamination**

4.10.1 The comments of the objectors are noted in respect to land stability. The site is located in a general area in which Coal Authority consider to be a development low risk area. As such, the Coal Authority does not require consultation on the application and it is advised that any risk can be managed by the attachment of an advisory note to any permission granted.

4.10.2 The Council's Environmental Health Officers were consulted on the application and raised no issue in terms of ground contamination or stability issues. Any matters pertaining to foundations would be covered through Building Regulations.

4.11 **Affordable Housing**

4.11.1 Under Policy CP2 the proposal would be required to provide a contribution towards affordable housing. On developments of 15 or more 20% is required for

affordable housing. The proposed development therefore has a requirement for 5 affordable units.

4.11.2 The Housing Strategy Officer was consulted on the application and stated that the Government policy now states that 25% of a local authorities affordable housing requirement should be for First Homes (25% of 20%). 1 unit is therefore required for First Homes, 3 rented units and 1 shared ownership. However, Registered Providers may prefer to manage 4 rental units which would be acceptable.

4.11.3 In instances where there is no interest from Registered Providers in providing on-site affordable housing, then the applicant would be willing to provide the necessary requirement wholly through a financial contribution. The overall affordable housing contribution can be delivered via a s106 legal agreement in this respect.

4.13 **Comments raised not covered in the body of the report above**

4.12.1 Environmental Health Officers have requested a condition to prevent waste from being burnt on site. Your Officers have not recommended this as a condition given that this is already covered within Environmental Health legislation and it is not for the Planning Authority to duplicate existing legislation.

4.12.2 Objectors have stated that the application is being pushed through without full consultation with neighbours. Your Officers confirm the correct neighbours were notified in writing of the application and a site notice displayed adjacent the site. As such, the Planning Authority fully discharged its statutory duty in regard to neighbour notifications.

4.12.3 Objectors have stated that flats are not appropriate in this location. Your Officers confirm that in accordance with Local Plan Policy CP7, the new development provides a mix of housing type to the existing location. As such, the proposed flats are considered acceptable.

4.12.4 Objectors have stated that they would have no objection to a scheme that proposes bungalows. Your Officers confirm however, that the proposal to be considered is the one presented to Members today.

4.12.5 An Objector has queried why there was no traffic survey. The Highway Authority have assessed the application and did not request such a survey to be provided.

4.12.6 An objector has queried what route was used by Staffordshire County Council to secure the sale of the land. Your Officers confirm that planning permissions are granted on the land and as such, the sale of the land is not a material planning consideration for the determination of this planning application. In this instance, the applicant has signed certificate A to confirm that the land does fall within their ownership.

4.12.7 An objector has stated that it is his human right to enjoy his property. Your Officers confirm that in accordance with the Human Rights Act 1998, the proposal set out within this report are considered to be compatible with the Human Rights Act.

5 Human Rights Act 1998 and Equality Act 2010**Human Rights Act 1998**

- 5.1 The proposals set out in this report are considered to be compatible with the Human Rights Act 1998. The recommendation to approve the application accords with the adopted policies in the Development Plan which aims to secure the proper planning of the area in the public interest.

Equality Act 2010

- 5.2 It is acknowledged that age, disability, gender reassignment, pregnancy and maternity, religion or belief, sex and sexual orientation are protected characteristics under the Equality Act 2010.

By virtue of Section 149 of that Act in exercising its planning functions the Council must have due regard to the need to:

Eliminate discrimination, harassment, victimisation and any other conduct that is prohibited;

Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;

Foster good relations between persons who share a relevant protected characteristic and persons who do not share it

It is therefore acknowledged that the Council needs to have due regard to the effect of its decision on persons with protected characteristics mentioned.

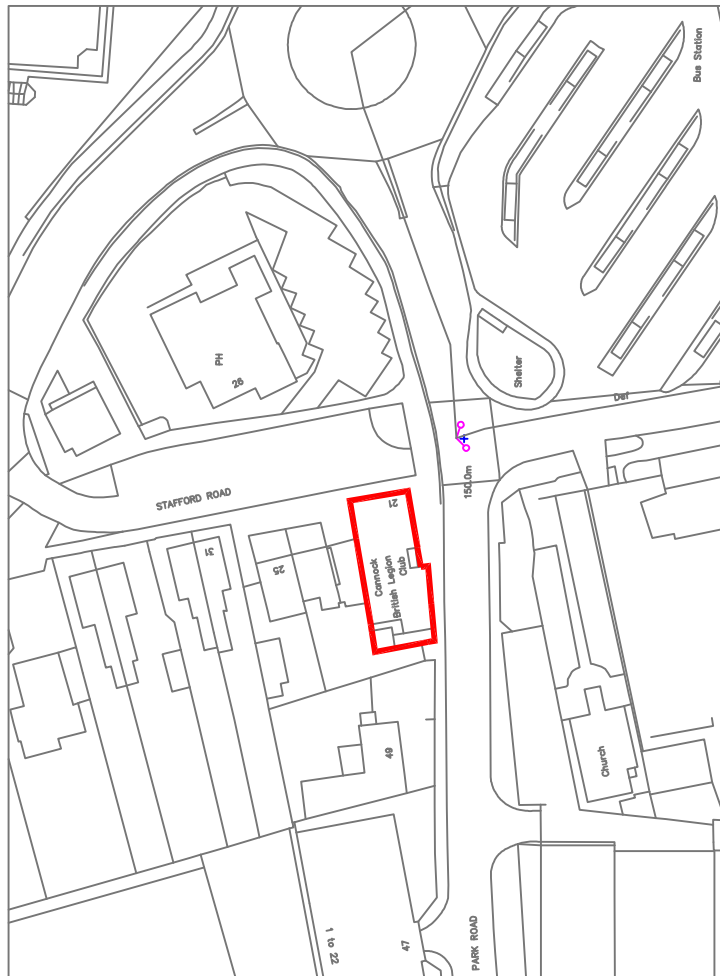
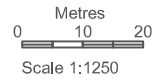
Such consideration has been balanced along with other material planning considerations and it is considered that the proposal is acceptable in respect to the requirements of the Act. Having had regard to the particulars of this case officers consider that the proposal would not conflict with the aim of the Equality Act.

6 Conclusion

- 6.1 In respect to all matters of acknowledged interest and policy tests it is considered that the proposal, subject and appropriate S106 and the attached conditions, would not result in any significant harm to acknowledged interests and is therefore considered to be in accordance with the Development Plan.
- 6.2 It is therefore recommended that the application be approved subject to completion of a s106 for affordable housing provision and SAC mitigation and the attached conditions.

Site Location Plan

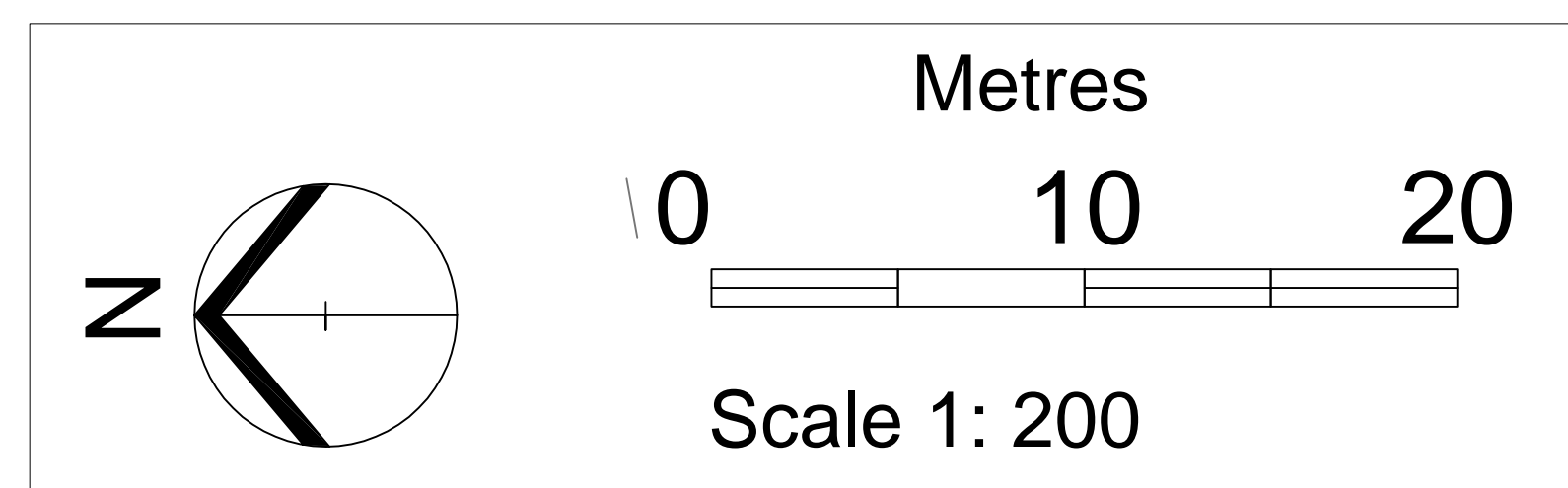
Cannock British Legion
21 Stafford Street, Cannock, WS11 4AF
Site Location Plan
Scale 1:1250 printed at A4



Location and Block Plan



- General Notes
1. All figured dimensions to be checked on site.
 2. All details and dimensions relating to sub-contractors or suppliers must be affirmed with the Main Contractor
 3. This drawing must be read in conjunction with associated information and the appropriate specification clauses
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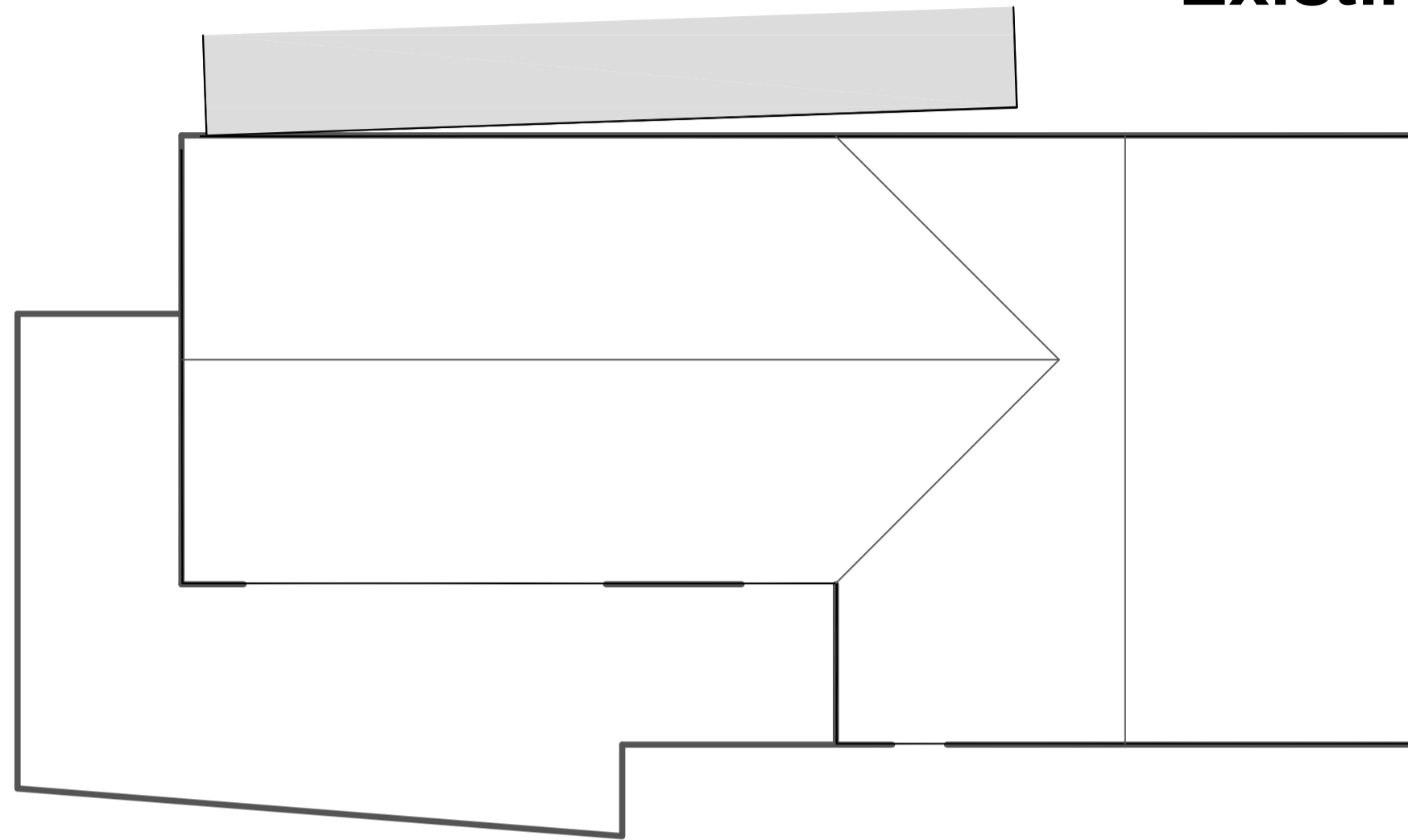
| Rev. | Amendment | Init. | Date |
|--|---------------|----------|------------|
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title Site Block Plans as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2021 | Scale | 1:500 @ A1 |
| Drawn | jr | Checked | |
| Drawing No | 10683-021 | Revision | -- |



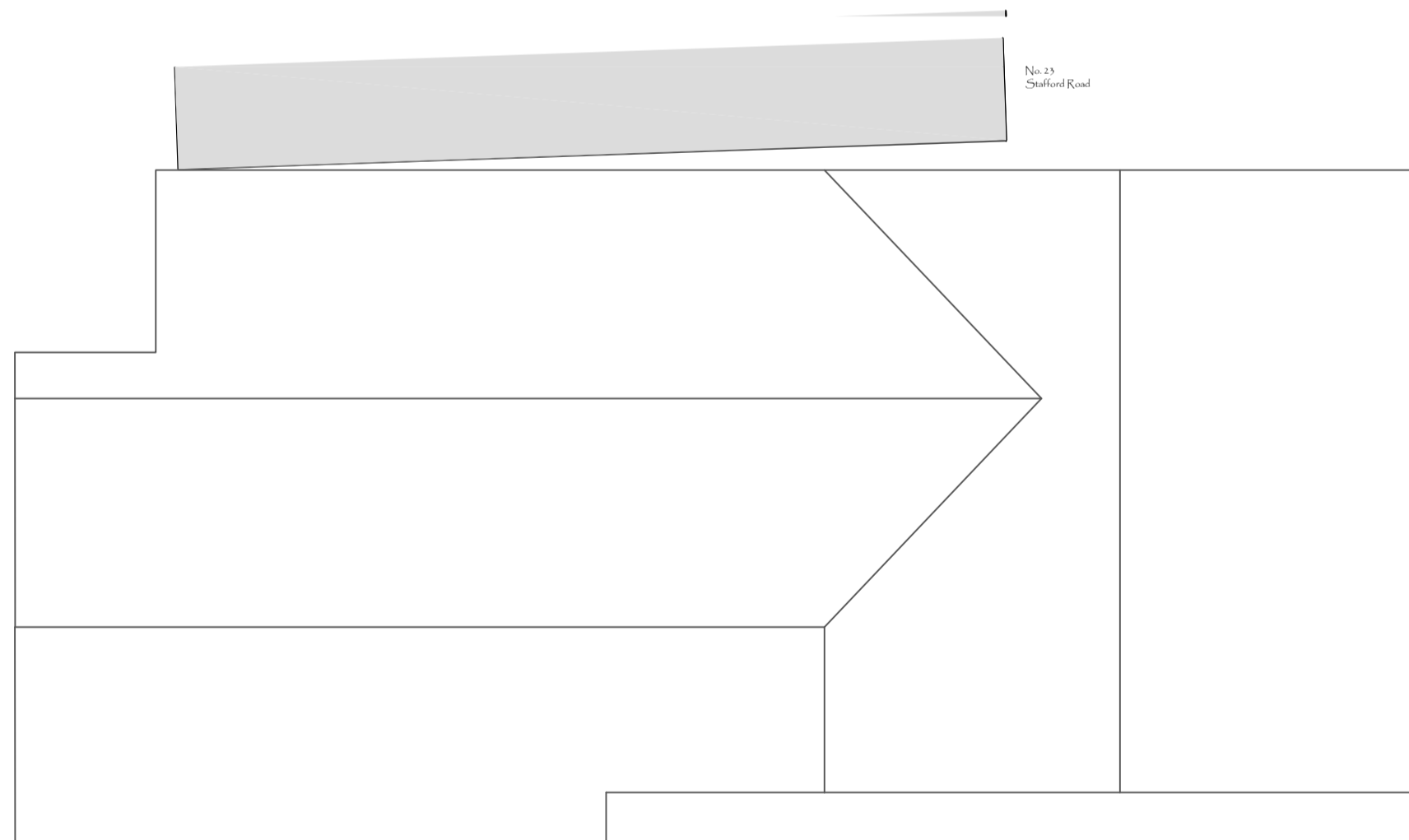
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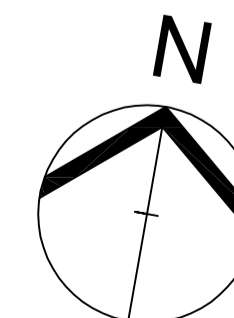
Existing and Proposed Roof Plan




Roof plan
as existing



Roof Plan as proposed

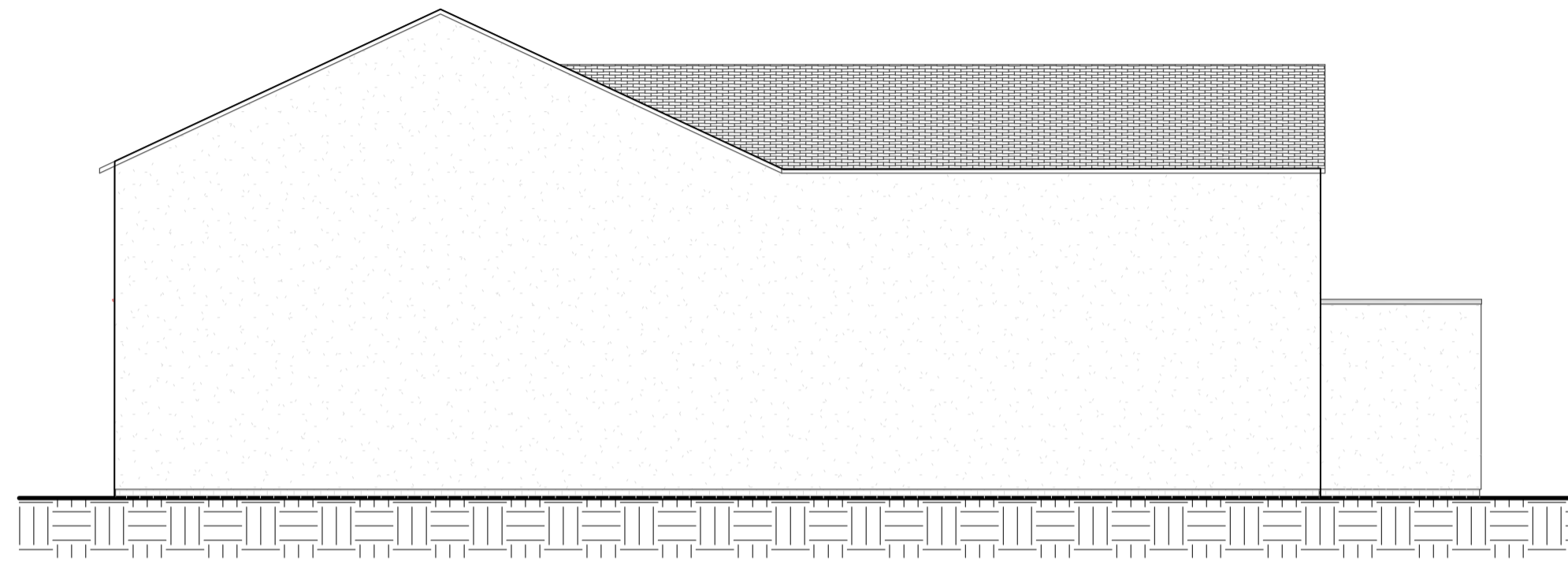


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| Rev. | Amendment | Init. | Date |
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title Roof Plan as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | |  | |
| Date | November 2021 | Scale | 1:100 @ A2 |
| Drawn | jr | Checked | |
| Drawing No 10683-024 | | Revision -- | |

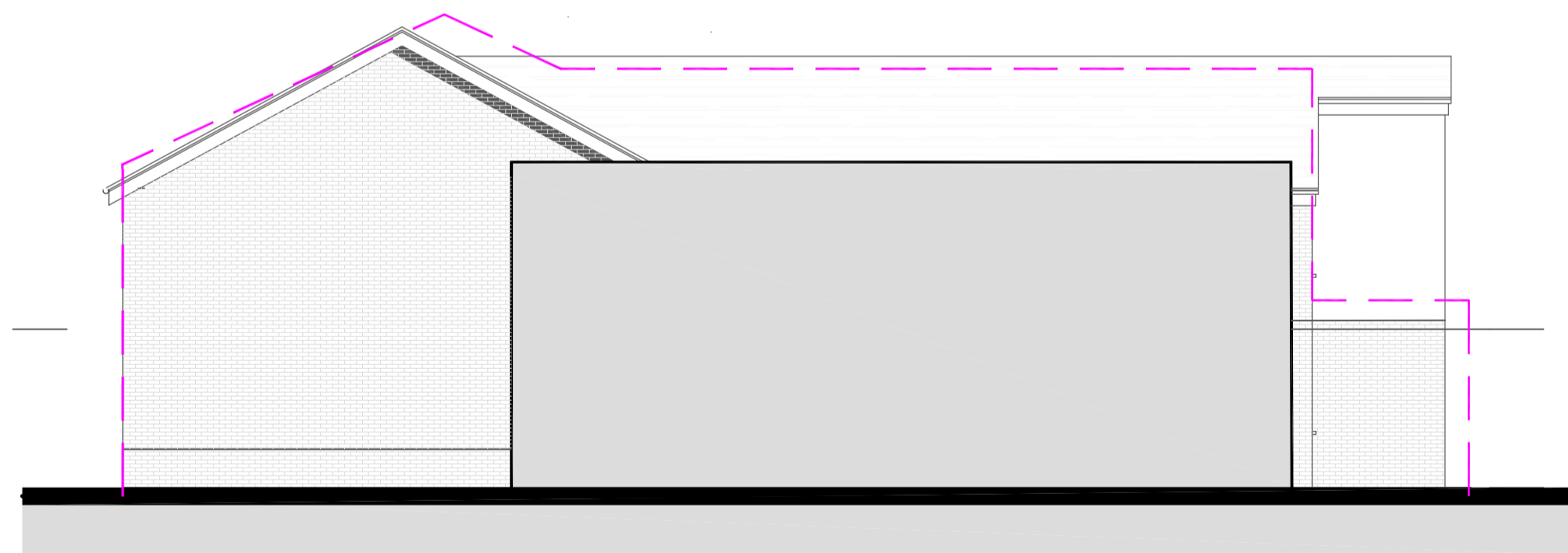
General Notes

1. All figured dimensions to be checked on site.
2. All details and dimensions relating to sub-contractors or suppliers must be affirmed with the Main Contractor
3. This drawing must be read in conjunction with associated information and the appropriate specification clauses
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Existing and Proposed North Elevation



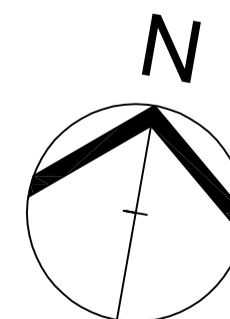
North elevation
as existing



North elevation
as proposed

Proposed finishes:

- Roof tiles - Cembrit slate effect /Standing seam metal roof
- Brickwork - orange / Red mix, staffordshire blue plinth
- Reconstructed stone cills and band
- Windows - white upvc
- Soffit, fascia and gutters - white upvc



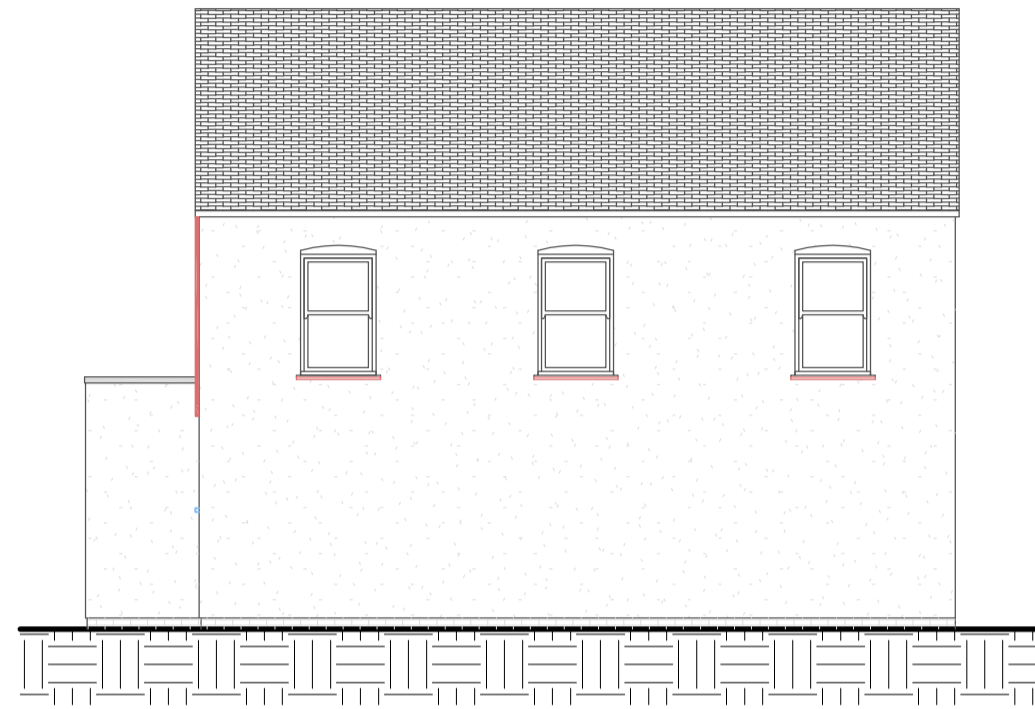
Key:
- - - indicates outline of existing building

| | | | |
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| Rev. | Amendment | Init. | Date |
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title North elevation as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2021 | Scale | 1:100 © A2 |
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| Drawing No | 10683-025 | Revision | -- |



- General Notes
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Existing and Proposed East Elevation



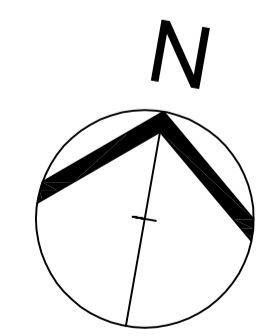
East elevation
as existing



East elevation
as proposed

Proposed finishes:

- Roof tiles - Cembrit slate effect /Standing seam metal roof
- Brickwork - orange / Red mix, staffordshire blue plinth
- Reconstructed stone cills and band
- Windows - white upvc
- Soffit, fascia and gutters - white upvc



Key:
- - - indicates outline of existing building

| | | | |
|--|---------------|----------|------------|
| Rev. | Amendment | Init. | Date |
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title East elevation as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2021 | Scale | 1:100 @ A2 |
| Drawn | jr | Checked | |
| Drawing No | 10683-026 | Revision | -- |



- General Notes
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Existing and Proposed South Elevation



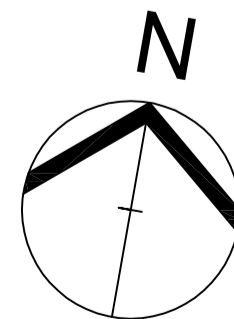
South elevation
as existing



South elevation
as proposed

Proposed finishes:

- Roof tiles - Cembrit slate effect /Standing seam metal roof
- Brickwork - orange / Red mix, staffordshire blue plinth
- Reconstructed stone cills and band
- Windows - white upvc
- Soffit, fascia and gutters - white upvc



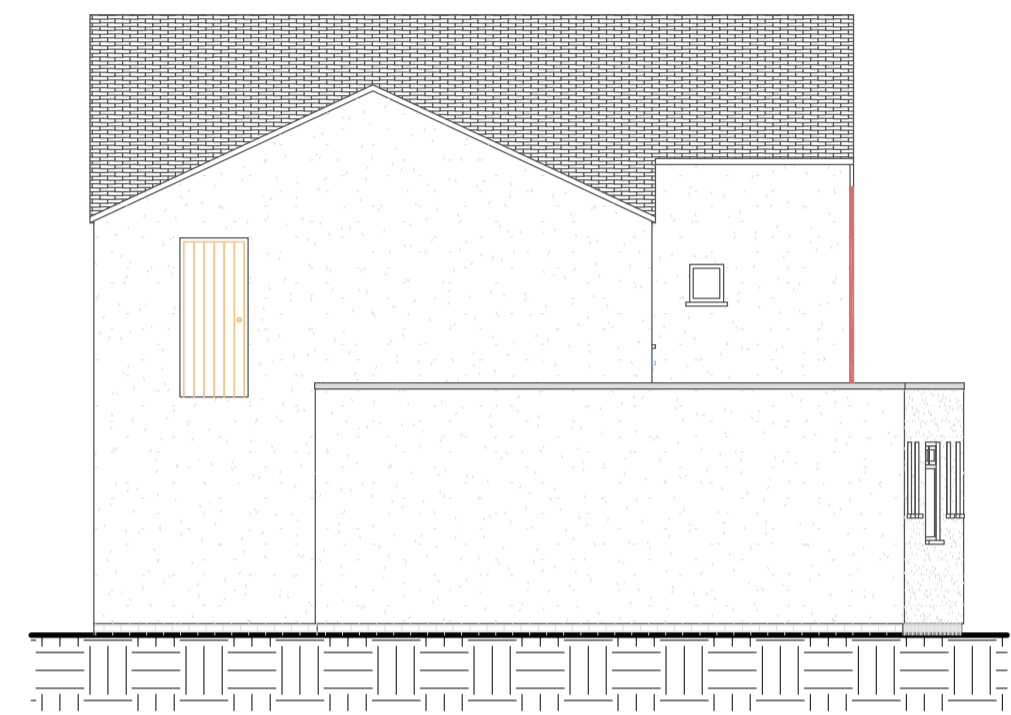
Key:
- - - indicates outline of existing building

| Rev. | Amendment | Init. | Date |
|--|---------------|----------|------------|
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title South elevation as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2021 | Scale | 1:100 @ A2 |
| Drawn | jr | Checked | |
| Drawing No | 10683-027 | Revision | -- |



- General Notes
1. All figured dimensions to be checked on site.
 2. All details and dimensions relating to sub-contractors or suppliers must be affirmed with the Main Contractor
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Existing and Proposed West Elevation



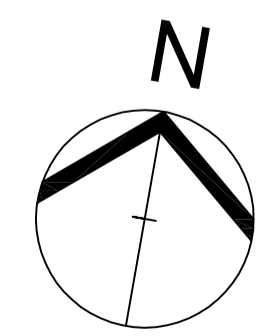
West elevation as existing



West elevation as proposed

Proposed finishes:

- Roof tiles - Cembrit slate effect /Standing seam metal roof
- Brickwork - orange / Red mix, staffordshire blue plinth
- Reconstructed stone cills and band
- Windows - white upvc
- Soffit, fascia and gutters - white upvc



Key:
--- indicates outline of existing building

| | | | |
|--|---------------|----------|------------|
| Rev. | Amendment | Init. | Date |
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title West elevation as existing and as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2021 | Scale | 1:100 @ A2 |
| Drawn | jr | Checked | |
| Drawing No | 10683-028 | Revision | -- |



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|-------------------------|----------------------|
| Contact Officer: | Audrey Lewis |
| Telephone No: | 01543 464 528 |

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|---|
| <p>Planning Control Committee 11 January 2023</p> |
|---|

| | |
|--------------------------|---|
| Application No: | CH/22/0352 |
| Received: | 15-Sep-2022 |
| Location: | 21, Stafford Road, Cannock, WS11 4AF |
| Parish: | Non Parish Area |
| Ward: | Cannock West |
| Description: | Redevelopment of Site to Provide 17 Room House of Multiple Occupation |
| Application Type: | Full Planning Application |

This application has been called into Committee by a Local Councillor for a site visit to enable Members to see the location of the building in relation to the neighbours.

Recommendation:

It is recommended that delegated authority be given to the Head of Planning to grant planning permission, subject to the completion of a S106 legal agreement to secure a contribution to mitigate recreation impacts upon Cannock Chase Special Area of Conservation equivalent to 4 x No. dwellings, and the conditions as detailed below.

Reason(s) for Recommendation:

In accordance with paragraphs (186-187) of the National Planning Policy Framework the Local Planning Authority has worked with the applicant in a positive and proactive manner to approve the proposed development, which accords with the Local Plan and/or the National Planning Policy Framework.

Conditions (and Reasons for Conditions):

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date on which this permission is granted.

Reason

To comply with the requirements of Section 91 of the Town & Country Planning Act 1990.

2. No part of the development hereby approved shall be commenced until details of the materials to be used for the external surfaces have been submitted to and approved by the Local Planning Authority.

Reason

In the interests of visual amenity and to ensure compliance with Local Plan Policies CP3, CP15, CP16, RTC3 (where applicable) and the NPPF.

3. The development shall not begin until a scheme for protecting the occupiers of the house in multiple occupation (HMO) from noise has been submitted to and approved by the Local Planning Authority. All works which form part of the scheme shall be completed before any of the rooms in the proposed HMO are occupied. The maximum internal noise levels within habitable rooms (with windows shut and alternative ventilation provided and in use) shall be protected to ensure that:

Day time - Habitable rooms; 30dB LAeq 16 hours 07.00 - 23.00 hrs
Night time — Bedroom; 30dB LAeq; 8 hours 23.00 - 07.00 hrs and 45LA max 23.00 - 07.00 hrs.

Guidance can be taken from BS8233:1999 and the WHO Guidelines for Community Noise.

Reason

In the interests of residential amenity and to ensure compliance with Local Plan Policy CP3 and the NPPF.

4. No development shall commence until a report detailing (i) a survey of vibration levels and (ii) any mitigation in respect to vibration to reduce regular exposure to vibration levels, which exceed the limits set down in British Standard BS 6472, has been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall not be brought into use until the works comprising the vibration mitigation measures have been implemented.

Reason

In the interests of residential amenity and to ensure compliance with Local Plan Policy CP3 and the NPPF.

5. Details of the refuse storage facilities, including the number of bins provided and the provision for removal of waste, shall be approved in writing by the Local Planning Authority before the use commences. The development shall not be brought into use until the works comprising the approved scheme have been implemented.

Reason

To provide a necessary facility, in accordance with Local Plan Policies CP3 & CP16 and the NPPF.

6. Before the use commences a scheme for a suitable extract ventilation system to remove odour and moisture from the development shall be submitted to and approved in writing by the Local Planning Authority. The scheme shall include full technical specification by a suitably qualified technical person, specifying the position of ventilation inlets and outlets and any noise attenuation measures. The approved scheme shall be operated throughout the life of the development.

Reason

In the interests of residential amenity and to ensure compliance with Local Plan Policy CP3 and the NPPF.

7. The house in multiple occupancy hereby approved shall not be occupied until a scheme for the provision of a bat roost, bird boxes and sparrow terrace has been submitted and approved by the Local Planning Authority and implemented in full. The roost, bird boxes and sparrow terrace shall thereafter be retained for the lifetime of the development, unless otherwise approved in writing by the Local Planning Authority.

Reason: To compensate against the loss of bat roosting habitat as a result of the development in accordance with Policy CP12 of the Cannock Chase Local Plan and the NPPF.

8. No development shall take place including any works of demolition, until a Highways Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. The approved Statement shall be adhered to throughout the construction period. The statement shall provide for:-

- A site compound with associated temporary buildings
- The parking of vehicles of site operatives and visitors
- Times of deliveries including details of loading and unloading of plant and materials and hours of construction
- Storage of plant and materials used in constructing the development

Reason: To comply with paragraph 111 of the NPPF and in the interest of Highway Safety.

9. Prior to first occupation of the development, the proposed cycle parking as shown on Drawing Number 10683-022 'Ground Floor Plans as existing and as proposed' shall be sustainably drained hard surfaced in a bound material and marked out prior to the first occupation of the building hereby permitted. Thereafter the parking area shall be retained in accordance with the approved plans for the lifetime of the development.

Reason: To comply with paragraph 111 of the NPPF and in the interest of Highway Safety.

10. The smoking area/cycle store building shall be protected with a 2m high wall and gates opening inwards only for pedestrians/cyclists. The gates should not be wide enough to allow vehicular Access, i.e. less than 1.5m wide and maintained as such for the lifetime of the development.

Reason: In order to comply with Local Plan Policy CP16 and paragraphs 111 of the NPPF and in the interest of Highway Safety.

11. The development hereby permitted shall not be commenced until details of the foundation construction and reinstatement of the footway around the building have first been submitted to and approved in writing by the Local Planning Authority, which shall thereafter be constructed in accordance with the approved plans.

Reason: To comply with Paragraphs 111 of the NPPF and in the interest of Highway Safety.

12. The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan

Existing/Proposed Site Block Plan

Roof Existing/Proposed Plan

First Floor Existing/Proposed Plan

Ground Floor Existing/Proposed Plan

West Elevation Existing/Proposed Plan

South Elevation Existing/Proposed {Plan

East Elevation Existing/Proposed Plan

North Elevation Existing/Proposed Plan

Reason

For the avoidance of doubt and in the interests of proper planning

Notes to the Developer:

INFORMATIVE

All housing developments must comply with national housing standards, such as the Decent Homes

Standard, and must be free from Category 1 hazards when assessed in accordance with the Housing Health and Safety Rating System (HHSRS) (sections 1 and 2 of the Housing Act 2004). The Councils Environmental Health Housing section also apply specific space and amenity standards to premises defined as Houses in Multiple Occupation (HMO's). Premises may include:

- i. Houses divided into flats or bedsits where some amenities are shared.
- ii. Houses occupied on a shared basis where occupiers have rooms of their own.
- iii. Lodging accommodation where resident landlords let rooms.
- iv. Hostels, lodging houses and bed and breakfast hotels.
- v. Registered residential hotels.

INFORMATIVE

A full survey of the building to determine any presence of asbestos containing materials will be necessary prior to the commencement of any demolition works. Demolition should be undertaken in accordance with Building Act provisions and BS6187:2011 Code of Practice for full & partial demolition.

INFORMATIVE

The proposed development lies within a coal mining area which may contain unrecorded coal mining related hazards. If any coal mining feature is encountered during development, this should be reported immediately to the Coal Authority on 0345 762 6848.

Further information is also available on the Coal Authority website at: www.gov.uk/government/organisations/the-coal-authority

Attach SBD Information**Consultations and Publicity****Internal Consultations*****Development Plans and Policy Unit***

No objections, subject to SAC & CIL payments being secured via a Section 106/278 if required, in accordance with the Councils policy/guidance.

Conservation Officer (comments from CH20/026)

Further to your consultation and receipt of the Heritage Assessment dated 9th April 2020 and produced by Mel Morris Conservation I can confirm that the information contained within the heritage assessment provides a reasonable basis for understanding the historic development of this part of Cannock and of the building on the site.

I agree with the assessment in the report that the evidence points to the building being originally of late C19th in origin and that it has subsequently been much modified. In addition the immediate surrounding area has also been much modified with the redevelopment of the road system and the bus station.

I therefore agree with the assessment that the building has negligible historic and architectural interest either in itself or in the contribution it makes to the significance of the nearby Cannock Town Conservation Area and its listed buildings.

I therefore have no objections to the demolition of the existing building.

Travel Management and Safety

The site is located on the corner of Stafford Road and Park Road which is within Cannock Town Centre (as defined by Cannock Chase District Council). It provides excellent access to public transport due to the town's main bus station being opposite. The site is also within walking / cycling distance of the town's main railway station. Stafford Road is an unclassified road which joins the main A classified Stafford Road. Park Road is a classified road with a 30mph speed limit.

The proposal is for the redevelopment of the former Cannock Royal British Legion into a 17 room house of multiple occupancy. The property will be accessed via a pedestrian/cycle gate off Park Road. There is no parking allocation with the site. A cycle store is located via the gated pedestrian access off Park Road.

There are no objections on Highway grounds to the proposed development subject to the imposition of conditions.

Environmental Protection Officer

No objections in principle.

Private Sector Housing

No comments received.

Waste and Engineering Services

No comments received.

Strategic Housing

No comments received.

CIL Officer

No comments received.

External Consultations

Crime Prevention Officer

No objections, however, it is important that a high level of physical security is incorporated into the development. Recommendations are made to achieve Secure By Design Accreditation.

Response to Publicity

The application has been advertised by advert, site notice and neighbour letter. Two letters of representation have been received on the following grounds:

- Proposed would not be in keeping with the character of the conservation area and nearby listed building opposite the site.
- Overdevelopment of the site
- Lack of parking.
- Lack of amenity space.
- There would be on-site security/management, which suggests there would be antisocial behaviour.
- Not convinced that measures based upon Secure By Design would be followed other than CCTV.
- Concerns relating to the type of residents that the scheme would attract due to room sizes and type of accommodation provided.

- Previous rejections by the council and planning inspectorate on the grounds of overdevelopment and no parking provision.

Relevant Planning History

CH/20/026 - Site redevelopment to provide 18 Room House of Multiple Occupancy refused on the following grounds:

- The proposed building, by virtue of its size, scale would not be well-related to existing buildings along the northern side of Park Road and Stafford Road to the detriment of the street scene contrary to Policy CP3 of the Cannock Chase Local Plan and paragraph 127(c) of the National Planning Policy Framework.
- The proposal would introduce an 18-bedroom house in multiple occupation, with no parking provision for the occupants into an area with little or no public parking or on-street parking provision within the immediate vicinity that would be suitable for parking by residents to the detriment of highway safety.

Following refusal of the above proposal there was an appeal submission, which was dismissed by The Planning Inspector and is summarised on the following grounds:

- The proposal, due to the increased height viewed from Park Road would be visually imposing and incongruous, contrary to CCLP policy CP3.

It is noted that the planning inspector did not find any grounds for dismissal on lack of parking, or any factors causing issues regarding social cohesion. (See Appendix 1 - For full Inspector's decision)

CH/18/247: - Demolition of existing building and erection of 24-bedroom House of Multiple Occupancy (HMO) and associated works refused on 5 December 2018 on the following grounds:

- The site is located at the northern edge of Cannock town centre at a transition between the main town centre to the south of the B5012 Park Road and the predominantly residential areas to the north which are more domestic in scale and character, and which front onto Park Road and Stafford Road. The proposed building, by virtue of its size, scale and three-storey design would not be well-related to existing buildings along the northern side of Park Road and Stafford Road to the detriment of the character of the area contrary to Policy CP3 of the Cannock Chase Local Plan and paragraph 127(c) of the National Planning Policy Framework.
- The proposal would introduce a 24-bedroom house in multiple occupation, with no parking provision for the occupants into an area with little or no public parking or on-street parking provision within the immediate vicinity that would be suitable for parking by residents. This would lead to increased conflicts between existing and future residents over the limited parking within the vicinity of the HMO to the detriment of social cohesion and therefore increase the potential for crime and the fear of crime contrary to paragraph 127(f) of the National Planning Policy Framework.

Following refusal of the above proposal there was an appeal submission, which was dismissed by The Planning Inspector and summarised on the following grounds:

The front elevation where the narrow two storey element adjacent to 23 Stafford Road would fail to respond to the roof form of No. 23, and at the rear where the awkward and competing lines of the recessed three storey element and the substantial rear gable would create an awkward and visually intrusive feature into the Park Road street scene. The position of such a dominant flank immediately at the back edge of the footpath would be an imposing and visually overpowering feature at a point where the pedestrian environment is constrained by the restricted width of the pavement and pedestrian crossing.

As such it would fail to secure the high-quality design sought by CCLP policy CP3.

CH/13/0086: -Residential development: Demolition of rear ground floor and first floor elements and proposed 2 storey extension to create 4No. 2 bed flats -approved subject to conditions on 3 May 2013.

CH/12/0336:- Change of use of first floor into 2 flats; ground floor change of use from British Legion Club (sui generis) to drinking establishment (A4); and new porch, rear extension and external alterations withdrawn 30 November 2012.

1 Site and Surroundings

- 1.1 The application site comprises a large, detached building formally occupied by the British Legion. The building comprises part two storey and part single storey elements and has a mixture of flat and pitched roofs with a rendered finish. The building has remained vacant for several years and has fallen into a state of disrepair. The building is of no significant architectural merit.
- 1.2 The application site is located within a prominent corner position adjacent to the cul-de-sac end of Stafford Road and Park Road, within the Cannock Town centre boundary as defined in the Local Plan. The site lies opposite the Cannock Town Centre Conservation Area and is within close proximity to Grade II Listed Buildings. It is also within a Mineral Safeguarding Area.
- 1.3 On the Park Road frontage, there is an existing dropped kerb, which is located adjacent to the edge of the application site building. The existing vehicular access serves side access to the application site and is set behind black iron railing 2m high double gates.
- 1.4 The side boundary of a semi-detached house at No.23 Stafford Road adjoins the rear boundary of the application property. No. 23 has a two storey side and rear extension, which is located approximately 0.5m from the rear wall of the application property. The rear of the extensions are approximately level with the west side elevation of the application property.

2 Proposal

- 2.1 The application seeks site redevelopment to provide 17 No. bedroom House of Multiple Occupancy and associated works.
- 2.2 The ground floor of the new building would occupy a similar smaller footprint than the existing ground floor building.

- 2.3 The height of the new building would be lower on the east facing elevation than the existing building (Stafford Road elevation). Additional ground floor window and patio doors are proposed (facing towards The Podge & Tin).

The maximum height of the main roof of the new building would be approximately 0.3m higher on the south facing elevation than the existing building (Park Road elevation).

An increase is proposed on the west facing elevation to provide a new two-storey element with 2-first floor windows and a ground floor window and door. The increase allows the pitched roof form to extend fully to the west (facing towards the Co-op).

There is a proposed reduction in floor area of 3.1 sqm on the Park Road elevation (single storey element) where the angle of the building is to be removed.

The existing building has a gross floor area of 372 square metres. The proposed floor area of the building would be smaller than the existing building with a gross floor area of 369 square metres.

- 2.4 The design of the proposed building would comprise a traditional design with pitched tiled roof, sash windows with cills and header detailing and brick materials to be agreed.
- 2.5 Access to the bin store would be off the service road access from Stafford Road.
- 2.6 The proposal is accompanied with:
- Design & Access Statement
 - Heritage Statement (March 2020)
 - Heritage Assessment (April 2020)
 - Acoustic Design Statement
 - Management Plan (2022)

3 Planning Policy

- 3.1 Section 38 of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the provisions of the Development Plan, unless material considerations indicate otherwise.
- 3.2 The Development Plan currently comprises the Cannock Chase Local Plan Part 1 (2014), the draft Neighbourhood Plan and the Minerals Local Plan for Staffordshire (2015 – 2030).

Cannock Chase Local Plan Part 1

Relevant policies within the Local Plan include:-

- CP1: - Strategy – the Strategic Approach
- CP3: - Chase Shaping – Design
- CP5: - Social Inclusion and Healthy Living

| | |
|---------|--|
| CP6:- | Housing Land |
| CP7 - | Housing Choice |
| CP10: – | Sustainable Transport |
| CP12: - | Biodiversity and Geodiversity |
| CP13: - | Cannock Chase Special Area of Conservation (SAC) |
| CP15: - | Historic Environment |
| CP16: - | Climate Change and Sustainable Resource Use |

Minerals Local Plan for Staffordshire

Relevant Policies within the Minerals Plan Include:

Policy 3: - Safeguarding Minerals of Local and National Importance and Important Infrastructure

There are no policies relevant to the proposal within the Minerals Plan.

3.3 *National Planning Policy Framework*

3.4 The NPPF (2021) sets out the Government's position on the role of the planning system in both plan-making and decision-taking. It states that the purpose of the planning system is to contribute to the achievement of sustainable development, in economic, social and environmental terms, and it states that there should be "presumption in favour of sustainable development" and sets out what this means for decision taking.

3.5 The NPPF (2021) confirms the plan-led approach to the planning system and that decisions must be made in accordance with the Development Plan unless material considerations indicate otherwise.

3.6 Relevant paragraphs within the NPPF include paragraphs: -

| | |
|---------------------|--|
| 8: | Three dimensions of Sustainable Development |
| 11-14: | The Presumption in favour of Sustainable Development |
| 47-50: | Determining Applications |
| 111: | Highway Safety and Capacity |
| 126, 130, 132, 134: | Achieving Well-Designed Places |
| 194, 199, 202 | Heritage Assets |
| 218, 219 | Implementation |

3.7 Other relevant documents include: -

- (i) Design Supplementary Planning Document, April 2016.
- (ii) Cannock Chase Local Development Framework Parking Standards, Travel Plans and Developer Contributions for Sustainable Transport.
- (iii) Manual for Streets.

4 Determining Issues

4.1 The determining issues for the proposed development include: -

- i) Principle of development
- ii) Design and Impact on the character of the Conservation Area/Listed Buildings
- iii) Impact on residential amenity.
- iv) Impact on highway safety.
- v) Impact on nature conservation
- vi) Affordable Housing
- vii) Drainage and flood risk
- viii) Waste and recycling facilities
- ix) Crime and the fear of crime
- x) Mineral safeguarding

4.2 Principle of the Development

4.2.1 The application site history includes two relevant previous applications and appeals:

- **CH/20/026** - Site redevelopment to provide 18 Room House of Multiple Occupancy
- **CH/18/247**: - Demolition of existing building and erection of 24-bedroom House of Multiple Occupancy (HMO) and associated works

4.2.2 Whilst, The Planning Inspector dismissed both appeals on design aspects of the development there was no objection to the principle of the proposals. As such, the principle of development in this location of a HMO has therefore been established at appeal.

4.2.3 Although a proposal may be considered to be acceptable in principle it is still required to meet the provisions within the development plan in respect to matters of detail. The next part of this report will go to consider the proposal in this respect.

4.3 Impact on the Character of the Conservation Area/Listed Buildings

4.3.1 In respect to the impact on character of the surrounding conservation area and listed buildings, the comments of the neighbouring occupiers are noted.

4.3.2 The issues in respect to design and the impact on the character and form of the area are intrinsically linked to the impacts on the setting of the nearby Grade II listed building and Conservation Area. In this respect the proposal engages the duty under S66(1) and S72 of the Planning (Listed Buildings and Conservation Areas) Act 1990 which sets out that 'In considering whether to grant planning permission which affects a listed building or its setting, or conservation area, the local planning authority shall have special regard to the desirability of preserving, or enhancing the character or appearance of that area.'

- 4.3.3 It is one of the core principles of the NPPF that heritage assets should be conserved in a manner appropriate to their significance. Chapter 16 of the National Planning Policy Framework at para 195 sets out that the local planning authority should identify and assess the particular significance of any heritage asset. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.
- 4.3.4 Paras 194-208 sets out the framework for decision making in planning applications relating to heritage assets and this application takes account of the relevant considerations in these paragraphs.
- 4.3.5 The proposal also engages Policy CP15 'Historic Environment' of the Local Plan.
- 4.3.6 In accordance with the requirements of paragraph 195 of the NPPF the applicant has submitted a Heritage Statement and historic maps through which the development of the site, nearby conservation area and setting of the nearby church can be assessed.
- 4.3.7 This assessment acknowledges the building to be demolished is not a designated heritage asset, though it is sited on the opposite side of the Town Centre Conservation Area and within 200m of heritage assets and Listed Buildings. The building itself is that of a house built in the 1870's that was modified to accommodate the social club use in the 1940's. This resulted in addition of a single storey side extension, rendering and new windows that that changed the property substantially. The site itself was part of a wider farm which was broken up and the open land forms the Cannock Park and Golf course and the more recently developed areas within the adjacent residential zone. There is no evidence on site, or in the construction of the building of any early elements of buildings on the site prior to the house being accommodated or retained on site.
- 4.3.8 The significance as such therefore is that the site and any proposed development has to consider the impact upon the heritage/conservation area and buildings of significant importance. As indicated on the Heritage Statement maps, the site is notably opposite the Congregational Chapel and within the immediate vicinity of Cannock Technical College and the wider Conservation Area.
- 4.3.9 More notable buildings of significance include the 19th century meeting hall, a house with 2 storeys plus an attic and another Town Centre House on the main square dating from the 16th Century with brickwork elevations and stone chimney. Also on High Green in Market Place area a listed mid-19th century red brick industrial building is retained and is currently occupied as a bank.
- 4.3.10 There are no records of archaeological significance within the confines of the site from any previous works or historical digs evidenced on the application area.
- 4.3.11 The building has been modified inside and out and represents little of the local architectural detail and merit that the noted buildings within the town centre feature. The building itself whilst dating back to the late 1800s is not outstanding and is of no architectural or artistic merit or interest but the geographical location means that the impact on other buildings and sites of architectural interest has been considered in particular the relationship to the buildings within the Conservation Area from which the site is visible.

- 4.3.12 The replacement building would result in loss of an old town centre building, however, this is the last building in an otherwise redeveloped area, a house of no great architectural merit which has been largely changed internally and visually completely altered and extended externally. The replacement building in a similar location is not considered harmful but beneficial and would enhance the setting of the nearby listed assets. The current building, in a poor state of repair, is visually damaging to the area and the replacement building will create a positive impact upon the immediate site and the Conservation Area and town centre.
- 4.3.13 The designated heritage assets within or very close to the application site will not be directly affected physically by the redevelopment of the application site.
- 4.3.14 The proposed scheme uses the history of the house and the volumes to represent the house in the new scheme to connect with the history of the site.
- 4.3.15 The replacement building, with a similar style of building finishes using red brick facade with contrasting Staffordshire blue brick feature and sash style window features along with stone cills, does not detract from the character or setting of the nearby Listed Building. The proposal is of a simple design and uses traditional materials and details appropriate to this location to replace a derelict building currently having a negative impact on the heritage of the Town Centre.
- 4.3.16 It is thus considered that the applicant has identified within the Heritage Assessment, the significance of the site, the absence of harm to the setting of the Listed Buildings and nearby Conservation Area, Notwithstanding, the Heritage Assessment does not identify the wider public benefits of the proposal. In line with para 202 of the NPPF it is necessary to weigh the harm, regardless of the level, against any public benefit. In this instance, Officers have assessed the proposal and consider the wider public benefits of removing the vacant building that currently has a negative impact on the adjacent heritage assets and wider locale, the contribution to the local economy whilst being constructed that would also continue once the building is inhabited and through providing a high quality building for 17 No. homes in a town centre location, the harm to the significance of the designated heritage asset would be outweighed and therefore, has had regard to the provisions of Section 66(1) & 72 of the Planning (Listed Building and Conservation Areas) Act 1990 and Paragraph 202 of the NPPF and CP15 of the Local Plan.
- 4.3.17 In addition, the Council's Conservation Officer has previously been consulted and has confirmed that the Heritage Statement provides an accurate assessment of heritage issues. He has not objected to the loss of the building. This was not an issue in either of the previous appeals.

4.4 Design

- 4.4.1 In this respect, design concerns relating to past refusals and appeal decisions have been raised by the residents and are noted.
- 4.4.2 In respect to issues in relation to design Policy CP3 of the Local Plan requires that, amongst other things, developments should be: -
- (i) well-related to existing buildings and their surroundings in terms of layout, density, access, scale appearance, landscaping and materials;

4.4.3 The inspector dismissed the appeal for CH/20/026, due to the Park Road elevation design, which included a 2 storey high double gable end roof feature, which combined with an increase in height would make the proposal appear more prominent and visually imposing than the existing building when seen from Park Road.

4.4.4 The current proposal proposes a building that is similar in form to the existing by providing the following changes;

- provision of a set-back of the first floor front elevation in Park Road that allows the building frontage to be broken up and subservient in appearance to that of the ground floor element.
- reduction of the height of the main dual pitched roof structure visible from Park Road
- removal of the double front facing gable end design (The Inspector found this design aspect to be prominent and visually imposing within the Park Road street scene)

4.4.5 In summary, the proposed building would have a smaller footprint than the existing building on the site and would be of similar height to the nearby properties. The elevation facing Park Road, has been altered by removing the 2 storey high double gable element, which the Planning Inspector found to be more prominent and imposing than the existing building, when seen from Park Road. Instead, it is now proposed to provide a roof form very similar to the existing. The rear pitched 'outshot' roof section (set back from Park Road) would be two storey fronted by a single storey low mono-pitch element. As a result, the proposal reduces the (Park Road) elevation of the main dual pitched roof element in height from the past refusal by approximately 0.3m and provides articulation on this frontage elevation. Additional window/door punctuations would create interest in the elevations, with use of window details comprising cills/headers and brick material details to be agreed. It is therefore concluded that the current scheme has addressed the Planning Inspectors concerns.

4.4.6 As such, the proposed building would easily assimilate into the already varied street scene. having had regard to Policies CP3 and CP15 of the Local Plan and the above mentioned paragraphs of the NPPF it is considered that the proposal would be well-related to existing buildings and their surroundings, successfully integrate with existing features of amenity value, maintain a strong sense of place and visually attractive such that it would be acceptable in respect to its impact on the character and form of the area.

4.5 Impact on Residential Amenity

4.5.1 In respect to the impact on amenity, the comments of the neighbouring occupiers are noted. Policy CP3 of the Local Plan states that the following key requirements of high quality design will need to be addressed in development proposals and goes on to include [amongst other things] the protection of the "amenity enjoyed by existing properties". This is supported by the guidance as outlined in Appendix B of the Design SPD which sets out guidance in respect to space about dwellings and garden sizes.

- 4.5.2 Paragraph 130(f) of the NPPF states that planning policies and decisions should ensure that developments [amongst other things] create places with a high standard of amenity for existing and future users.
- 4.5.3 The side access located on Park Road adjacent to the western elevation separates the proposed building from the business premises at the Co-op Retail unit.
- 4.5.4 The building has been altered in design and footprint from the frontage building line in Park Road. The southern elevation indicates that the single storey extension would be replaced with the two storey replacement building that would have an overall height similar to that of the existing two storey element of the original building. Therefore, the overall height relative to No.23 Stafford Road is approximately the same as surrounding buildings, to ensure there would be no greater impact than the current building. The extension to No. 23 Stafford Road extends the same distance as the current and proposed building on plan, so it is considered that there would be no significant loss of light to the habitable room windows of the neighbouring property.
- 4.5.5 The proposed building would not face any residential properties on the front or side elevation. No rear windows (north facing) are proposed that would face any residential properties. It is therefore considered that the proposal would not cause a detriment impact on privacy to any residential neighbouring properties.
- 4.5.6 The Environmental Protection Officer has no objection to the proposal, suitable conditions have been imposed to ensure residential amenity of the potential and surrounding residents. In addition, the room sizes would be in accordance with requirements suitable for licencing.
- 4.5.7 The comments of the neighbours in regard to amenity are noted. There is a small amenity yard proposed to the rear of the building. There is no requirement in the Design SPD for amenity space for HMO. The location of the site is within a town centre and there is a public park within close proximity to the site.
- 4.5.8 It is therefore considered that the proposal would adequately protect the amenity of existing residents and would result in a good standard of amenity for both future occupiers and the nearby neighbouring residents. As such the proposal would comply with policy requirements of CP3 and the NPPF.

4.6 **Impact on Highway Safety**

- 4.6.1 Paragraph 111 of NPPF states that development should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.
- 4.6.2 The comments from neighbours in this respect are noted.
- 4.6.3 However, Staffordshire County Highways Department were consulted on the proposal and raised no objections to the proposal in terms of highway safety, due to the site's location within Cannock Town Centre, as it provides excellent access to public transport due to the town's main bus station being opposite. The site is also within walking/cycling distance of the town's main railway station and the scheme would provide a secure cycle store via the gated pedestrian access off Park Road, which would allow sustainable travel options to potential residents of

the development. The Highway Officer has recommended imposition of conditions pertaining to construction and cycle parking provision. However, the construction condition has been modified to remove 'duration of works' and 'wheel wash facilities', as these are not considered reasonable for the scale of the development, as they would not comply with paragraph 56 of the NPPF (the 6 tests).

- 4.6.4 The Planning Inspector also had no concerns regarding this aspect on the past appeal decision for CH/20/026, as it was concluded that residents and visitors would not be heavily reliant on car usage. The inspector also stated that, even if the proposal did result in an increase in parking demand, it was not demonstrated from appeal submissions how this would affect highway safety and no evidence was provided that indicated the general demand for public, or roadside parking was high in the area.
- 4.6.5 As such, it is therefore considered that the proposal would not have an adverse impact upon highway safety, and that the level of parking is acceptable at this town centre location paragraph 111 of the NPPF.

4.7 Impact on Nature Conservation Interests/Cannock Chase SAC

- 4.7.1 The application site is not subject to any formal or informal nature conservation designation and is not known to support any species that is given special protection or which is of particular conservation interest. As such the site has no significant ecological value and therefore the proposal would not result in any direct harm to nature conservation interests.
- 4.7.2 Under Policy CP13 development will not be permitted where it would be likely to lead directly or indirectly to an adverse effect upon the integrity of the European Site network and the effects cannot be mitigated. Furthermore, in order to retain the integrity of the Cannock Chase Special Area of Conservation (SAC) all development within Cannock Chase District that leads to a net increase in dwellings will be required to mitigate adverse impacts. The proposal would lead to a net increase in dwellings and therefore is required to mitigate its adverse impact on the SAC. Such mitigation would be in the form of a contribution towards the cost of works on the SAC and this is provided by a S106 agreement, which should collect SAC contributions based upon 6 HMO bedrooms equating to 1 No. dwelling. Therefore 17 rooms would contribute a SAC payment which would be equivalent to 4 No. dwellings. An appropriate Habitats Regulation Assessment has been undertaken as part of the due process.
- 4.7.3 Given the above it is considered that the proposal, would not have a significant adverse impact on nature conservation interests either on, or off, the site. In this respect the proposal would not be contrary to Policies CP3, CP12 and CP13 of the Local Plan and the NPPF.

4.8 Affordable Housing and other Developer Contributions

- 4.8.1 Under Policy CP2 the proposal would normally be required to provide a contribution towards affordable housing for development of 15 or more dwellings. However, given the proposal is for a 17-room HMO, the proposed number of rooms provided by the development would provide the equivalent of 4-No. self contained dwellings and thus would not trigger an affordable housing contribution.

It is therefore considered that the proposal is acceptable without a contribution towards affordable housing.

4.9 Drainage and Flood Risk

4.9.1 The site is located in a Flood Zone 1 which is at least threat from flooding. Although the applicant has not indicated the means of drainage it is noted that the site immediately abuts a main road and is within a predominantly built up area. As such it is in close proximity to drainage infrastructure that serves the surrounding area and is considered acceptable.

4.10 Waste and Recycling Facilities

4.10.1 Policy CP16(1) (e) 'Climate Change and Sustainable Resource Use' of the Cannock Chase Local Plan states that development should contribute to national and local waste reduction and recycling targets according to the waste hierarchy'. One of the ways of achieving this is by ensuring development can be adequately serviced by waste collection services and that appropriate facilities are incorporated for bin collection points (where required).

4.10.2 The Council's Waste and Recycling Officer has been consulted on the proposal, but has not responded at the time of compiling the report. However, if comments are provided by the time of the Committee Meeting, an Officer Update Sheet will be provided for Members.

4.10.3 The proposal indicates internal accommodation for bin storage facilities within the building. The scheme has been designed along similar lines to the past proposal to accord with the Council's waste and recycling requirements, which was previously agreed under application CH/18/247. In addition, a suitable condition can be imposed to ensure adequate provision.

4.10.4 As such, it is considered that the proposal would conform with Local Plan Policy CP16 and the NPPF.

4.11 Ground Conditions and Contamination

4.11.1 The site is located in a general area in which Coal Authority consider to be a development low risk area. As such, the Coal Authority does not require consultation on the application and it is advised that any risk can be managed by the attachment of an advisory note to any permission granted.

4.11.2 The Council's Environmental Health Officers were consulted on the application and raised no issue in terms of ground contamination.

4.12 Crime and the Fear of Crime

4.12.1 There have been a number of concerns raised relating to the proposal being perceived as leading to an increase in anti-social behaviour and crime.

4.12.2 The Design & Access Statement states that the building would be specified to incorporate measures to design out crime and anti-social behaviour based upon Secure By Design (SBD) standards to include an on-site management / housekeeper and CCTV in accordance with the SBD requirements.

4.12.3 In addition, the Crime Prevention Officer has no objection to the proposal and makes recommendations for the scheme to achieve SBD Accreditation. These will be attached as an informative to any permission granted bringing to the applicant's attention the advice of the crime prevention officer.

4.13 Other Issues Raised by Objectors

4.13.1 The issue relating to the status of the potential occupants of the proposed HMO is not a material planning consideration.

4.13.2 With regards to the issue raised regarding on site security/management suggesting the proposal would increase anti-social behaviour - there would be a housekeeper/manager on site, to ensure the safe and efficient operation of the proposed HMO as set out within the planning statement provided by the applicant.

5 Human Rights Act 1998 and Equality Act 2010

Human Rights Act 1998

5.1 The proposals set out in this report are considered to be compatible with the Human Rights Act 1998. The recommendation to approve the application accords with the adopted policies in the Development Plan which aims to secure the proper planning of the area in the public interest.

Equality Act 2010

5.2 It is acknowledged that age, disability, gender reassignment, pregnancy and maternity, religion or belief, sex and sexual orientation are protected characteristics under the Equality Act 2010.

By virtue of Section 149 of that Act in exercising its planning functions the Council must have due regard to the need to:

Eliminate discrimination, harassment, victimisation and any other conduct that is prohibited;

Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it;

Foster good relations between persons who share a relevant protected characteristic and persons who do not share it

It is therefore acknowledged that the Council needs to have due regard to the effect of its decision on persons with protected characteristics mentioned.

Such consideration has been balanced along with other material planning considerations and it is considered that the proposal is acceptable in respect to the requirements of the Act. Having had regard to the particulars of this case officers consider that the proposal would not conflict with the aim of the Equality Act.

6 Conclusion

- 6.1 The proposal has overcome the appeal refusal reason relating to the design of the building affecting the character of the area in Park Road.
- 6.2 In respect to all matters of acknowledged interest and policy tests it is considered that the proposal, subject to the attached conditions, would not result in any significant harm to acknowledged interests and is therefore considered to be in accordance with the Development Plan.
- 6.3 It is therefore recommended that the application be approved subject to completion of a S106 for SAC mitigation contribution equivalent to 4 x No. dwellings, then approval with conditions.

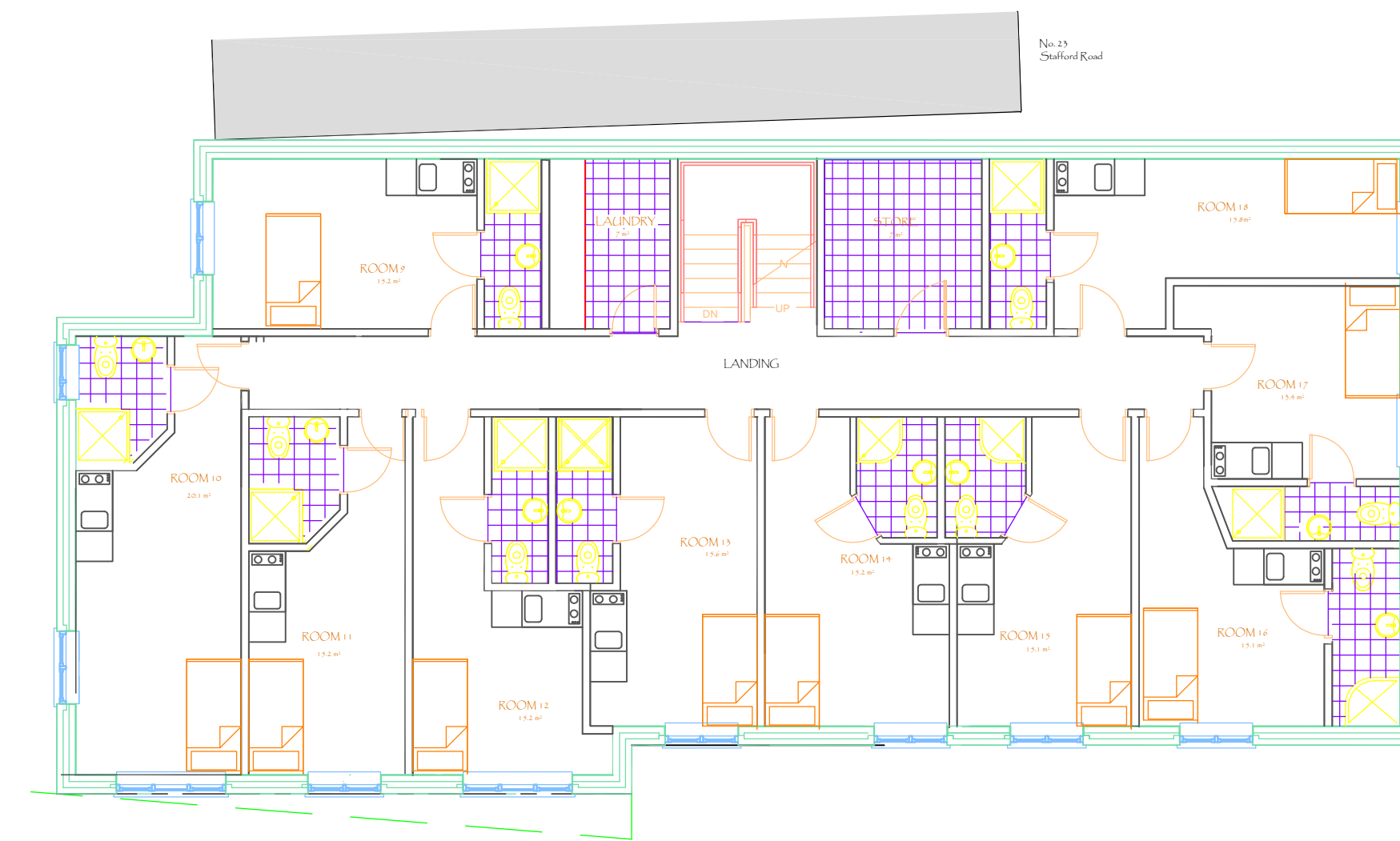
General Notes

1. All figured dimensions to be checked on site.
2. All details and dimensions relating to sub-contractors or suppliers must be affirmed with the Main Contractor
3. This drawing must be read in conjunction with associated information and the appropriate specification clauses
4. Unauthorised reproduction and or use of information noted is subject to copyright

Previously Refused Scheme



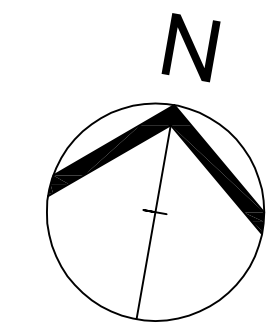
Ground Floor proposed



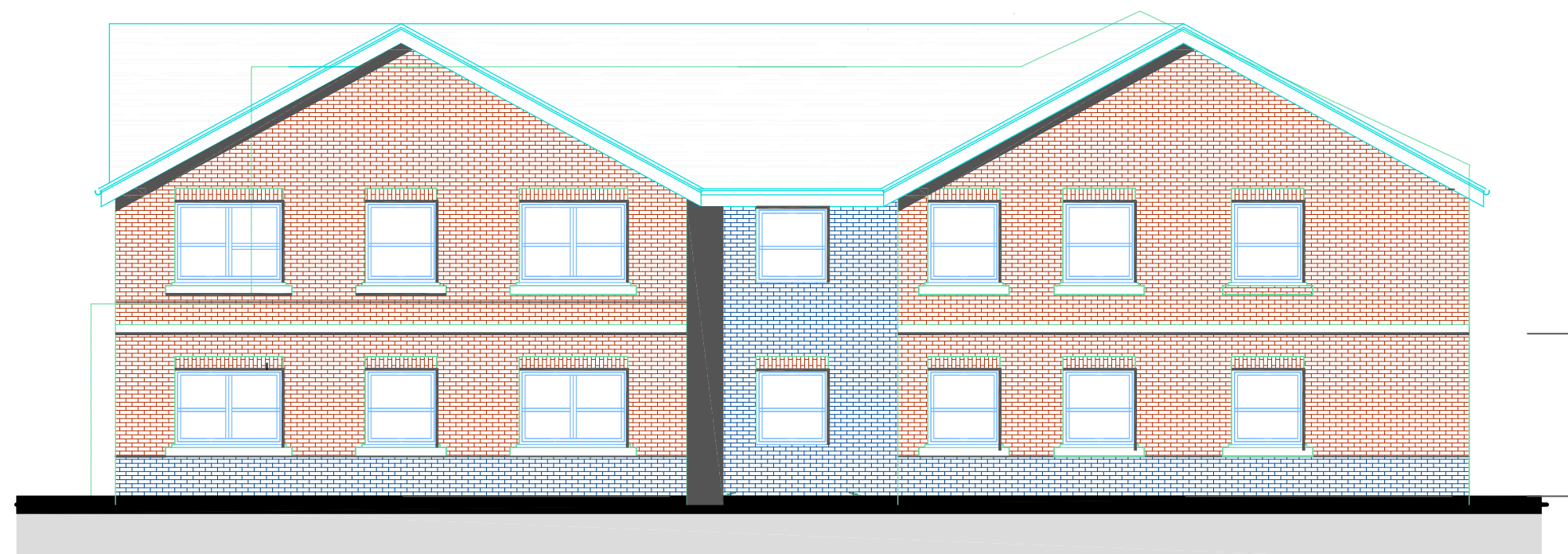
First Floor proposed

KEY
 Existing window opening to be replaced and upgraded

Appendix 1



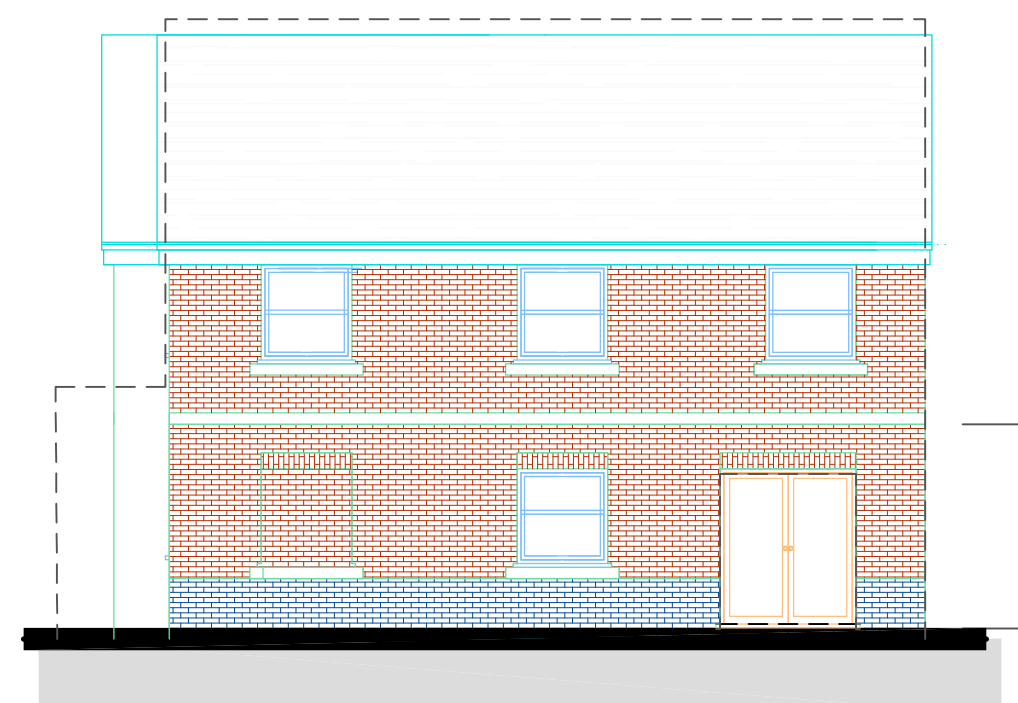
Proposed finishes:
 Roof tiles - Cembrit slate effect
 Brickwork - orange / Red mix, staffordshire blue plinth
 Reconstructed stone cills and band
 Windows - white upvc
 Soffit, fascia and gutters - white upvc



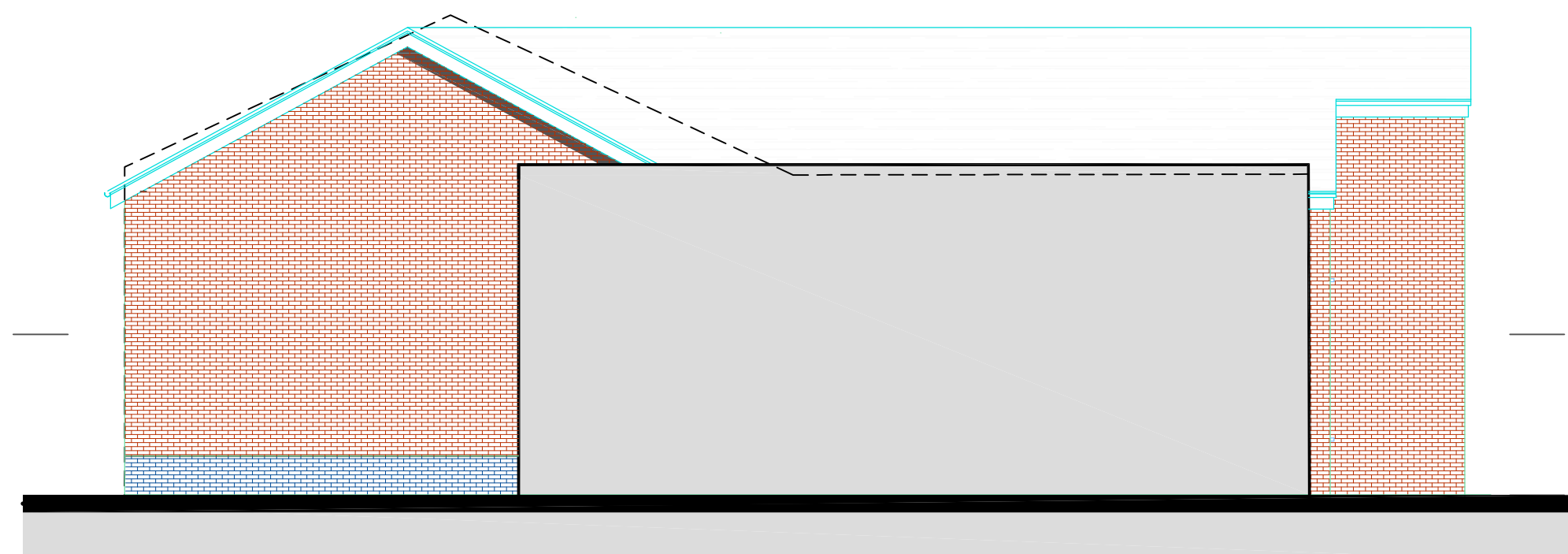
South elevation



West elevation



East elevation



North elevation

| | | | |
|--|---|----------|------------|
| Rev. | Amendment | Init. | Date |
| A | First floor Layout amended Planning application | JR | 18-02-20 |
| Client Mr. D Andrews | | | |
| Project 21 Stafford Road Cannock | | | |
| Title Plans and elevations as proposed | | | |
| R D L The Old Barn Hollowfields Road Hanbury Redditch B96 6RD | | | |
| Date | November 2019 | Scale | 1:100 @ A1 |
| Drawn | jr | Checked | |
| Drawing No | 10683-010 | Revision | A |





Appeal Decision

Site Visit made on 5 January 2021

by Jonathan Edwards BSc(Hons) DipTP MRTPI

an Inspector appointed by the Secretary of State

Decision date: 19 January 2021

Appeal Ref: APP/X3405/W/20/3260212
21 Stafford Road, Cannock, WS11 4AF

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr D Andrews against the decision of Cannock Chase District Council.
 - The application Ref CH/20/026, dated 14 January 2020, was refused by notice dated 19 June 2020.
 - The development proposed is site redevelopment to provide 18 room house of multiple occupancy.
-

Decision

1. The appeal is dismissed.

Main Issues

2. The main issues are (i) the effect on the character and appearance of the area, and (ii) the effect of associated parking on highway safety and social cohesion.

Reasons

Character and appearance

3. The proposal would have a slightly smaller footprint than the existing building on the site and it would be a similar height or lower than nearby properties. However, its Park Road elevation would have a 2 storey high double gable whereas the side extension to the rear of the existing building is single storey. Due to this increase in height, the proposal would be markedly more prominent and visually imposing than the existing building when seen from Park Road. Also, it would be adjacent to the pavement while other buildings in Park Road tend to be set off the footway. As such, the building would stand out as an overly prominent development in the street scene.
4. The proposal's flank elevation would include more architectural features than the existing building which is bland. Moreover, the development would be lower and less overpowering than a previous scheme that was refused planning permission. However, these factors would fail to address or override the excessive dominance and incongruity of the proposal.
5. For these reasons, I conclude the development would have a harmful effect on the character and appearance of the area. In this respect, it would be contrary

to policy CP3 of the Cannock Chase Local Plan 2014, which aims, amongst other things, to ensure development is well related to its surroundings.

Parking

6. Residents and visitors travelling by motorised vehicle to the proposal would be reliant on off-site parking facilities and roadside parking is heavily restricted close to the site. However, the development would be opposite a bus station and within reasonable walking distance of a broad range of facilities and so residents and visitors would not be heavily reliant on car usage. Also, there is no evidence that shows the scheme would increase demand for roadside parking compared to that which could be generated by the existing building.
7. Even if the proposal did result in an increase in parking demand, the Council's submissions do not explain how this would prejudice highway safety. Also, no evidence has been provided that shows general demand for public or roadside parking is particularly high and so I am unconvinced the proposal would lead to conflict between residents of other properties and occupiers of the development. Furthermore, the Council has not explained how the lack of parking as part of the scheme would lead to crime or a fear of crime. For these reasons, I conclude that parking associated with the proposal would not lead to any harmful effects in respect of highway safety or social cohesion.

Other Matters

8. The proposal would be close to the Cannock Town Centre Conservation Area and St Luke's church, a grade II listed building. Despite the identified detriment to the street scene, the proposal would be a sufficient distance away so as to not harm the setting or significance of these heritage assets.
9. The development would make effective use of a small brownfield site in an urban location. In these regards, it gains support from the National Planning Policy Framework (the Framework). However, the scheme would harm the character of the area and so would fail to improve its quality. As such, the Framework states permission should be refused. This is the overriding issue and the benefits of the scheme do not outweigh the identified harm that would be caused in this respect.
10. A unilateral undertaking has been provided that would secure a financial contribution to mitigate the adverse impact of recreational activities on Cannock Chase Special Area of Conservation (the SAC). The development is unacceptable for other reasons and so it is unnecessary for me to consider further its effect on the integrity of the SAC or the undertaking. For clarity purposes, if I had found the appeal to be acceptable in this regard, such a finding would not have affected my main conclusion.

Conclusion

11. For the above reasons, I dismiss the appeal.

Jonathan Edwards

INSPECTOR